



FANJUL & ASSOCIATES, LLC
ARCHITECTURE, PLANNING & INTERIOR DESIGN

AA26000725

ARTURO G. FANJUL, RA
PRESIDENT

165 MADEIRA AVENUE, SUITE 7
CORAL GABLES, FLORIDA 33134

PH. 305 726.8313
FAX 305 356.3686

arturo@fanjularchitects.com

"A BETTER LIFE THROUGH DESIGN"

ARTURO G. FANJUL ARO017585
STATE OF FLORIDA REGISTERED ARCHITECT



DESIGN REVIEW COMMITTEE
DANIA BEACH
DESIGN REVIEW
COMMITTEE
PROPOSED SITE
2901 GRIFFIN ROAD
DANIA BEACH, FLORIDA

COVER SHEET

REVISION	NO.
12-16-14 REVISED PER DRC COMMENTS	
02-26-15 REVISED	
04-15-15 REVISED	

DATE: 6/25/2014

SCALE:

DRAWN: AGF

CHECKED:

JOB NO. 13-1202

PERMIT NO.

OWNERSHIP
OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT THEY ARE MADE FOR IS SECURED OR NOT, THEY SHALL NOT BE USED BY OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

CS

FAMILY DOLLAR



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COVER SHEET & INDEX OF DRAWINGS		
NO.	DESCRIPTION	REVISIONS
CS	COVER SHEET	
A0.0	RENDERING	
SURVEY	SITE SURVEY	
C-1	PAVING AND DRAINAGE PLAN	
C-2	PAVING AND DRAINAGE DETAILS	
C-3	PAVING AND DRAINAGE DETAILS	
C-4	EROSION CONTROL PLAN	
C-6	STRIPING AND MARKING PLAN	
FT	FIRE TRUCK PATH	
LA1	LANDSCAPE SITE PLAN & DETAILS	
LA2	PERVIOUS AND NON PERVIOUS SITE PLAN	
SP1	SITE PLAN AND NOTES	
SP1.1	FLOOR PLANS AND NOTES	
SP2	ELEVATIONS & SCHEDULES	
PH-1	PHOTOMETRICS	
IR-1	IRRIGATION PLAN	
IR-2	IRRIGATION PLAN	

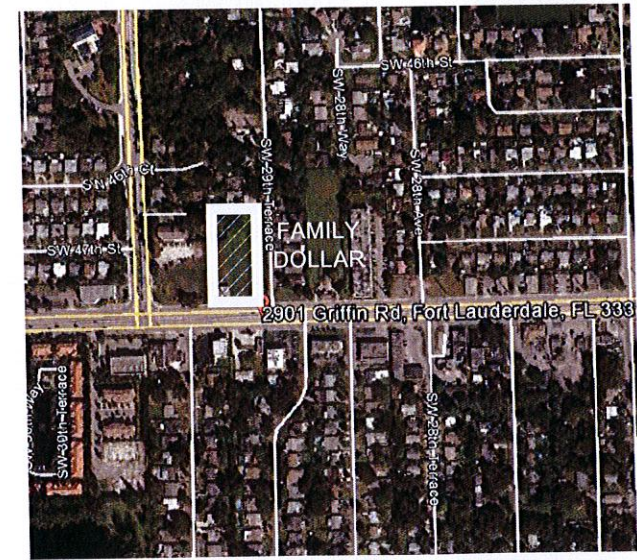
PROJECT TEAM			
OWNER	4TH AVENUE DEVELOPERS	ARCHITECT:	Arturo G. Fajul, RA ARO017585
	DANIEL A. ABREU		Fanjul & Associates, LLC
	14011 SW 20 STREET		902 Pizarro Street
	MIAMI FL 33175 US		Coral Gables, FL 33134
	305.345.7475		PH. 305.726.8313 FAX. 305.356.3686 arturo@fanjularchitects.com
APPLICANT	GRIFFIN ROAD FD, LLC		www.fanjulandassociates.com
	14011 SW 20 STREET		
	MIAMI, FL 33175	CIVIL ENGINEER	Jerry Zamora, PE Zamora & Associates, Inc. 11410 N Kendall Dr, Miami, FL 3317 Miami, FL 33176 (305) 273-7801
CONTRACTOR	CANDELA DEVELOPERS		
	14011 SW 20 STREET		
	MIAMI, FL 33175		

PROPERTY INFORMATION	
ADDRESS	2901 Griffin Road SW 29 TER DANIA BEACH 33312
FOLIO:	504229011160
LEGAL DESCRIPTION:	MARSHALLS EVERGLADE SUB 2-32 D 29-50-42 LOT 14 W1/2 LESS N 932.7 & LESS PTL YING WITHIN 5.53
CURRENT LOT SIZE:	53,513 PRIOR TO DEDICATIONS
PROPOSED R.O.W. DEDICATION	6,874
LOT SIZE AFTER DEDICATIONS	46,639
YEAR BUILT:	0
ZONING:	RS-6000
TYPE OF CONSTRUCTION	VACANT
OCCUPANCY:	VACANT

DESIGN CODES	
Building	2010 Florida Building Code - Building
Mechanical	2010 Florida Building Code Mechanical
Plumbing	2010 Florida Building Code Plumbing
Electrical	FBC 2010 Refers to NFPA 70 NEC 2008
Life Safety Code	2010 Florida Fire Prevention Code
Accessibility	2012 Florida Accessibility Code

FINISH REQUIREMENTS (GROUP M REFER TO TABLE 803.9)		
AREA	SPRINKLERED	UNSPRINKLERED
EXITS	CLASS B MINIMUM	CLASS A MINIMUM
EXIT ACCESS	CLASS C MINIMUM	CLASS B MINIMUM
OTHER SPACES	CLASS C MINIMUM	CLASS C MINIMUM
TENANT FLOOR FINISHES: CLASS I OR II		

FIRE RESISTANT REQUIREMENTS TYPE II CONSTRUCTION	
COLUMNS:	TABLE 601 OF FBC 2010
BEAMS & GIRDERS	TABLE 601 OF FBC 2010
ROOFS:	TABLE 601 OF FBC 2010



LOCATION SKETCH
 SCALE: NTS.

SCOPE OF WORK
 NEW 9970 SF MERCANTILE CENTER WITH SURFACE PARKING AND LANDSCAPING.
 STRUCTURE WILL BE CONSTRUCTION TYPE II - SPRINKLED.



DESIGN REVIEW COMMITTEE
**DANIA BEACH
 DESIGN REVIEW
 COMMITTEE
 PROPOSED SITE**
 2901 GRIFFIN ROAD
 DANIA BEACH, FLORIDA

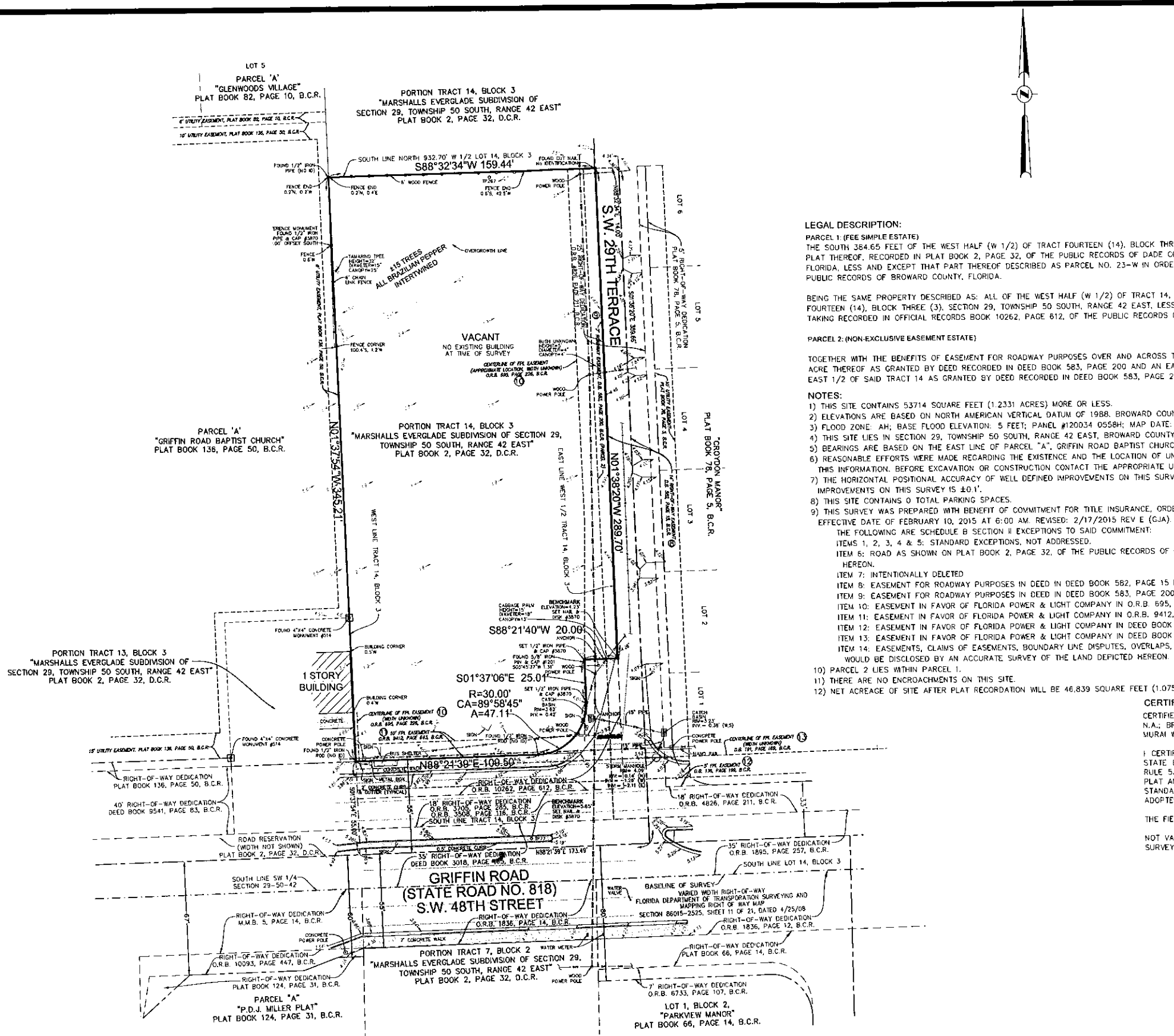
PROPERTY DATA, SITE MAP
 AND INDEX

REVISION	NO.
12-16-14 REVISED PER DRC COMMENTS	
02-26-15 REVISED	
04-15-15 REVISED	

DATE: 6/25/2014
 SCALE:
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AO.O



LEGEND

[Symbol]	CONCRETE
[Symbol]	ASPHALT PAVEMENT
[Symbol]	ELEVATION
[Symbol]	OVERHEAD WIRES
[Symbol]	UNDERGROUND WATER LINE
[Symbol]	UNDERGROUND STORM SEWER LINE
[Symbol]	CENTERLINE
[Symbol]	O.R.B. OFFICIAL RECORDS BOOK
[Symbol]	TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
[Symbol]	R RADIUS
[Symbol]	CA CENTRAL ANGLE
[Symbol]	A ARC LENGTH
[Symbol]	D.B. DEED BOOK
[Symbol]	B.C.R. BROWARD COUNTY RECORDS
[Symbol]	D.C.R. DADE COUNTY RECORDS
[Symbol]	INV. INVERT

LEGAL DESCRIPTION:
 PARCEL 1: (FEE SIMPLE ESTATE)
 THE SOUTH 384.65 FEET OF THE WEST HALF (W 1/2) OF TRACT FOURTEEN (14), BLOCK THREE (3), OF SECTION 29, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 32, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THAT PART THEREOF DESCRIBED AS PARCEL NO. 23-W IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 10262, PAGE 612, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

BEING THE SAME PROPERTY DESCRIBED AS: ALL OF THE WEST HALF (W 1/2) OF TRACT 14, EXCEPT THE NORTH 932.7 FEET OF SAID WEST HALF (W 1/2) OF SAID TRACT FOURTEEN (14), BLOCK THREE (3), SECTION 29, TOWNSHIP 50 SOUTH, RANGE 42 EAST, LESS AND EXCEPT THAT PART THEREOF DESCRIBED AS PARCEL NO. 23-W, IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 10262, PAGE 612, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2: (NON-EXCLUSIVE EASEMENT ESTATE)
 TOGETHER WITH THE BENEFITS OF EASEMENT FOR ROADWAY PURPOSES OVER AND ACROSS THE EAST 7 FEET OF THE WEST 1/2 OF SAID TRACT 14, LESS THE NORTH ONE (1) ACRE THEREOF AS GRANTED BY DEED RECORDED IN DEED BOOK 583, PAGE 200 AND AN EASEMENT FOR ROADWAY PURPOSES OVER AND ACROSS THE EAST 7 FEET OF THE EAST 1/2 OF SAID TRACT 14 AS GRANTED BY DEED RECORDED IN DEED BOOK 583, PAGE 200, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

- NOTES:**
- THIS SITE CONTAINS 53714 SQUARE FEET (1.2331 ACRES) MORE OR LESS.
 - ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #1477; ELEVATION: 5.434 FEET.
 - FLOOD ZONE: AH; BASE FLOOD ELEVATION: 5 FEET; PANEL #120034 0558H; MAP DATE: 08/18/14.
 - THIS SITE LIES IN SECTION 29, TOWNSHIP 50 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
 - BEARINGS ARE BASED ON THE EAST LINE OF PARCEL "A", GRIFFIN ROAD BAPTIST CHURCH BEING N01°37'54"W.
 - REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
 - THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.1'.
 - THIS SITE CONTAINS 0 TOTAL PARKING SPACES.
 - THIS SURVEY WAS PREPARED WITH BENEFIT OF COMMITMENT FOR TITLE INSURANCE, ORDER NO. 4113002 PREPARED BY CHICAGO TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF FEBRUARY 10, 2015 AT 6:00 AM. REVISED: 2/17/2015 REV E (GJA).
- THE FOLLOWING ARE SCHEDULE B SECTION II EXCEPTIONS TO SAID COMMITMENT:
- ITEMS 1, 2, 3, 4 & 5: STANDARD EXCEPTIONS, NOT ADDRESSED.
 - ITEM 6: ROAD AS SHOWN ON PLAT BOOK 2, PAGE 32, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA AFFECTS THE ADJACENT RIGHT-OF-WAY AS DEPICTED HEREON.
 - ITEM 7: INTENTIONALLY DELETED.
 - ITEM 8: EASEMENT FOR ROADWAY PURPOSES IN DEED IN DEED BOOK 582, PAGE 15 LIES ADJACENT TO THIS SITE AS DEPICTED HEREON.
 - ITEM 9: EASEMENT FOR ROADWAY PURPOSES IN DEED IN DEED BOOK 583, PAGE 200 AFFECTS THIS SITE AS DEPICTED HEREON.
 - ITEM 10: EASEMENT IN FAVOR OF FLORIDA POWER & LIGHT COMPANY IN O.R.B. 695, PAGE 226 AFFECTS THIS SITE AS DEPICTED HEREON.
 - ITEM 11: EASEMENT IN FAVOR OF FLORIDA POWER & LIGHT COMPANY IN O.R.B. 9412, PAGE 643 AFFECTS THIS SITE AS DEPICTED HEREON.
 - ITEM 12: EASEMENT IN FAVOR OF FLORIDA POWER & LIGHT COMPANY IN DEED BOOK 136, PAGE 199 AFFECTS THE ADJACENT RIGHT-OF-WAY AS DEPICTED HEREON.
 - ITEM 13: EASEMENT IN FAVOR OF FLORIDA POWER & LIGHT COMPANY IN DEED BOOK 191, PAGE 169 AFFECTS THE ADJACENT RIGHT-OF-WAY AS DEPICTED HEREON.
 - ITEM 14: EASEMENTS, CLAIMS OF EASEMENTS, BOUNDARY LINE DISPUTES, OVERLAPS, ENCROACHMENTS OR OTHER MATTERS NOT SHOWN BY THE PUBLIC RECORDS WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY OF THE LAND DEPICTED HEREON.
- PARCEL 2 LIES WITHIN PARCEL 1.
 - THERE ARE NO ENCROACHMENTS ON THIS SITE.
 - NET ACREAGE OF SITE AFTER PLAT RECORDATION WILL BE 46.839 SQUARE FEET (1.0753 ACRES).

CERTIFICATION:
 CERTIFIED TO GRIFFIN ROAD RD, LLC, CHICAGO TITLE INSURANCE COMPANY; SABADELL UNITED BANK, N.A.; BRYAN J. STANLEY, P.A.; FAMILY DOLLAR STORES OF FLORIDA, INC.; ABREU DEVELOPMENT, LLC; MURAI WALD BIONDO & MORENO, P.A.

I CERTIFY THAT THIS SURVEY COMPLIES WITH THE MINIMUM STANDARDS ADOPTED BY THE FLORIDA STATE BOARD OF LAND SURVEYORS PURSUANT TO CHAPTER 472 OF THE FLORIDA STATUTES AND RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE. I HEREBY FURTHER CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND DOES NOT INCLUDE ITEMS OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 5/1/14.
 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
 BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
 STATE OF FLORIDA

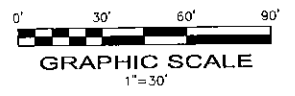
NO.	REVISIONS	BY
1	ISSUE SURVEY & 10262 (D.E. 4/24/14)	AS
2	REVISE BOUNDARY 07/27/14	AS
3	REVISE BOUNDARY 07/27/14	AS
4	REVISE BOUNDARY 07/27/14	AS

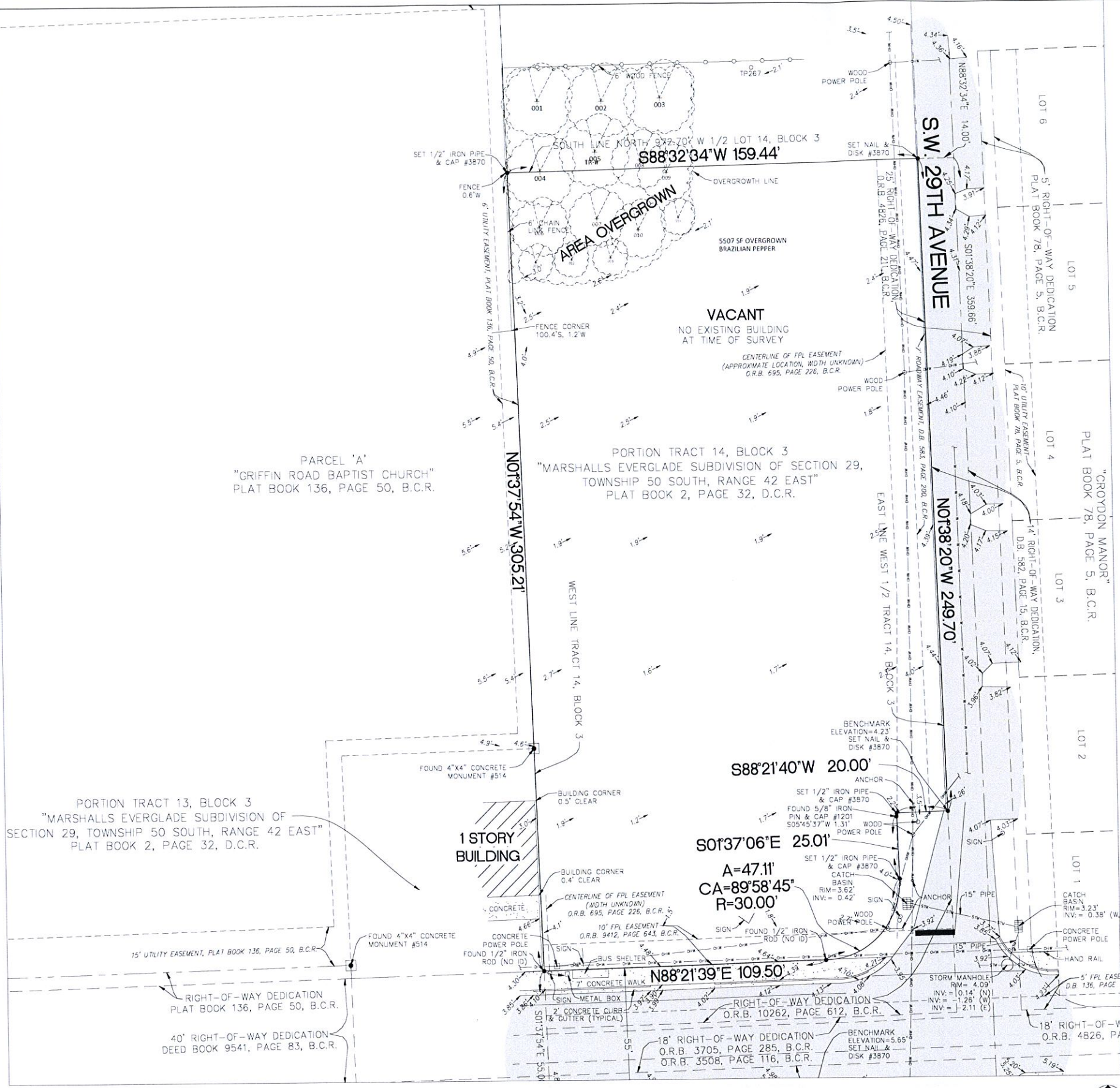
BOUNDARY, TOPOGRAPHIC AND TREE SURVEY

PULICE LAND SURVEYORS, INC.
 5381 NOB HILL ROAD
 SUNRISE, FLORIDA 33351
 TEL: (954) 572-1777
 FAX: (954) 572-1778
 E-MAIL: surveys@pulicelandsurveyors.com
 CERTIFICATE OF AUTHORITY ON 12/28/07

DRAWN BY: MD	SCALE: 1" = 30'	FILE: CANDELA DEVELOPERS INC.
CHECKED BY: J.F.P.	SURVEY DATE: 6/02/14	ORDER NO.: 58675

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- GENERAL DEMOLITION NOTES:**
1. SITE IS A VACANT LOT.
 2. CONTRACTOR TO PROVIDE PERIMETER CONSTRUCTION FENCE TO SECURE SITE.
 3. CONTRACTOR TO PROVIDE 6'-8" BARRIERS AROUND TREES LESS THAN 18 INCHES IN DIAMETER AND 10-12" BARRIERS AROUND TREES 18 INCHES IN DIAMETER OR GREATER FOR TREES TO REMAIN.

EXISTING TREE DISPOSITION SCHEDULE

TAG No.	TREE TYPE	BOTANICAL NAME	BHD	CANOPY DIAMETER	TOTAL HEIGHT	DISPOSITION REMOVE	DISPOSITION REMAIN
001	Brazilian Pepper	Schinus terebinthifolius	8"	25'	20'	X	
002	Brazilian Pepper	Schinus terebinthifolius	8"	25'	20'	X	
003	Brazilian Pepper	Schinus terebinthifolius	8"	25'	20'	X	
004	Brazilian Pepper	Schinus terebinthifolius	8"	25'	20'	X	
005	Brazilian Pepper	Schinus terebinthifolius	8"	25'	20'	X	
006	Brazilian Pepper	Schinus terebinthifolius	6"	20'	15'	X	
007	Brazilian Pepper	Schinus terebinthifolius	6"	20'	15'	X	
008	Brazilian Pepper	Schinus terebinthifolius	6"	20'	15'	X	
009	Brazilian Pepper	Schinus terebinthifolius	6"	20'	15'	X	
010	Brazilian Pepper	Schinus terebinthifolius	6"	20'	15'	X	
011	Brazilian Pepper	Schinus terebinthifolius	4"	10'	10'	X	
012	Brazilian Pepper	Schinus terebinthifolius	4"	10'	10'	X	
013	Brazilian Pepper	Schinus terebinthifolius	4"	10'	10'	X	
014	Brazilian Pepper	Schinus terebinthifolius	4"	10'	10'	X	

ESTIMATED TOTAL EXISTING CANOPY TO BE REMOVED = 4416 SF

1 D1.0 EXISTING CONDITIONS TREE SURVEY WITH PROPOSED SITE PLAN OVERLAY & DEMOLITION NOTES
SCALE=1/16"=1'-0"



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DESIGN REVIEW COMMITTEE
DANIA BEACH DESIGN REVIEW COMMITTEE
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DANIA BEACH, FLORIDA

EXISTING SITE PLAN DEMOLITION NOTES

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D1.0

PAVING, GRADING & DRAINAGE PLAN



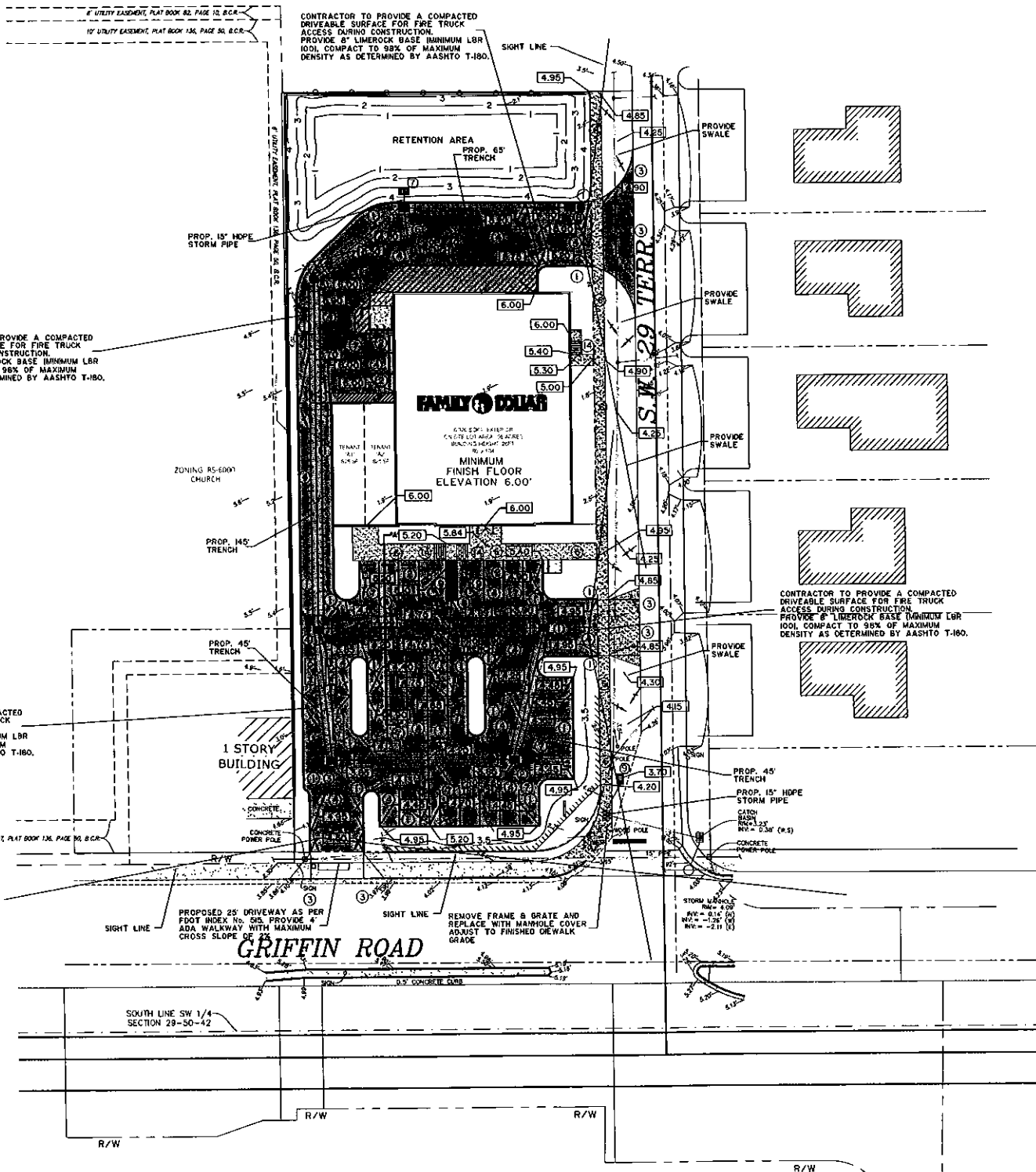
Know what's below.
Call before you dig.



SCALE 1" = 30'

NOTE TO CONTRACTOR
CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL REPORT AND SHALL IMPLEMENT ALL RECOMMENDATIONS THEREIN. CONTRACTOR TO NOTIFY ENGINEER IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE SOIL REPORT.

- LEGEND**
- EXISTING PAVEMENT
 - PROPOSED PAVEMENT
 - EXISTING ELEVATION
 - PROPOSED ELEVATION
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT
 - RUN OFF DIRECTION
 - EXIST. TYPE "F" CURB & GUTTER
 - PROP. TYPE "F" CURB & GUTTER
 - ① DRAINAGE STRUCTURE NUMBER
 - SP INDICATES WATER SAMPLING POINT



- UNDERGROUND CONTRACTOR:**
- A. Underground Contractor shall comply with the Trench Safety Act, HB 383, Florida Statutes, which incorporates, but is not limited to, the following:
 1. OSHA Standard 29 C.F.R. Part 1926, Subpart P, Excavation and Trenches;
 2. Contract bids for trench excavations (in excess of 5 feet deep) shall include reference to the safety standards, written assurance of compliance, and a separate item identifying the cost of compliance;
 3. Adhere to any special shoring requirements of the state or other political subdivision.
 - B. Engineer is not responsible for the safety of the excavation or design and construction of any shoring.

- GENERAL NOTES:**
1. All materials and labor under the project shall conform to the City of Dania Beach Engineering Department, Florida Department of Transportation, and the Broward County Environmental Protection Department Standards and Specifications.
 2. For site dimensions and geometry see Site Plan sheet C-1.
 3. Elevations shown are based on N.A.V. Datum and as shown survey.
 4. Underground utility information is taken from the best available sources, but should be verified by contractor in the field with the appropriate utility agency prior to commencement of any work. Existing utility lines other than those indicated in this drawing may be on site. The contractor is warned to proceed with caution with all work. He is to make all possible investigation as to possible unmarked utility lines.
 5. Contractor shall adjust any utility lids and/or covers in project area to the finished grade.
 6. Any apparent discrepancies in the plans and field condition shall be brought to the attention of the Engineer before proceeding with the work.
 7. Contractor shall notify the Owner's representative and Engineer if soil condition encountered is unsuitable for construction. Furthermore all existing organic materials shall be removed from beneath areas of new asphalt or concrete pavement and from proposed building locations. The full depth of all existing organic and deleterious material within the right of way and utility/drainage easements shall be removed. No material of FDOT Class A-5, A-7 or A-8 shall be allowed.
 8. The Contractor shall restore all areas disturbed by this construction to a condition equal to, or better than, that now existing.
 9. Typical Pavement Section:
 - i. 1.5" Type S-II Asphaltic Concrete surface course
 - ii. 6" Limerock base (Minimum LBR 100), compact to 98% of maximum density as determined by AASHTO T-180
 - iii. 6" concrete slab on well compacted grade (Minimum LBR 40) compact to 98% of maximum density as determined by AASHTO T-180.
 10. Fill shall be placed in 12" layers loose thickness, measured and compacted to 95% of maximum density as determined by AASHTO T-180. Fill shall be locally acceptable and suitable for fill purposes. The top 12" of fill or cut (Minimum LBR 40) under pavement base shall be compacted to 98% of maximum density as determined by AASHTO T-180.
 11. All seepage structures shall be French Drain with 15" perforated HDPE shall be used. Bottom of trench to be at elevation 0.50 and the trench trench width to be 5'. Provide masonry plug at end of French Drain invert of pipe to be at elevation 0.50.
 12. The property is located in flood zone X, Elevation - feet.
 13. Water level elevation as determined by Broward County Wet Season Water table is at Elevation 2.00 Feet NGVD or 0.49 NAVD.
 14. Background information obtained from Boundary Survey prepared by Pullice Land Surveyors, Inc. Dated May 2, 2014.
 15. All signage and markings shall conform to the requirements of Broward County, Florida and FDOT standards and specifications.
 16. This site lies in Section 29, Township 50 S, Range 42 East.
 17. All repairs to the existing pavement shall receive saw-cut edges prior to relaying asphalt. Utility piping or wiring less than four (4) inches in diameter requires a Schedule 40 PVC casing pipe with sand backfills under paved areas only.
 18. Prime coat shall be applied at a rate of 0.25 gallons per square yard. Prime and tack coat for base shall conform to the requirements and specifications of sections 300-1 through 300-7 of FDOT standards specifications.
 19. Base and subgrade density tests shall be conducted for a maximum 7000 square feet of finished pavement.
 20. Proctors shall be performed on all material, subgrade and base and any subsequent changes in materials. Limerock bearing ratios, sieve analysis and densities required by contract documents shall be submitted to the City.
 21. Minimum longitudinal slope of pavement shall be 0.3%.
 22. Minimum transverse slope of the pavement shall be one percent for parking areas.

SCHEDULE NOTES

- ① NEW 6" TYPE "D" CONCRETE CURB
- ② NEW WHEEL STOP/BUMPER
- ③ EXISTING PAVEMENT LINE
- ④ NEW ASPHALT PAVEMENT
- ⑤ NEW CONCRETE PAVEMENT
- ⑥ NEW CONCRETE SIDEWALK
- ⑦ NEW 4" PAINTED STRIPING (SINGLE)
- ⑧ NEW 4" PAINTED WHITE STRIPING
- ⑨ NEW TYPICAL "WHITE" HANDCAP SYMBOL
- ⑩ NEW PAINTED DIRECTIONAL ARROW
- ⑪ NEW 24" WIDE PAINTED WHITE STOP BAR THERMOPLASTIC
- ⑫ NEW STOP SIGN (R-1)
- ⑬ NEW TYPICAL "HANDCAP" SIGN
- ⑭ NEW HANDCAP RAMP (1/2 MAX SLOPE)
- ⑮ NEW 3' MINIMUM DETECTABLE WARNING
- ⑯ NEW 6" YELLOW W/12" YELLOW 5' O.C.

REVISIONS:

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING
1410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

PROJECT: OWNER:
FAMILY DOLLAR
2901 GRIFFIN ROAD
DANIA BEACH, FLORIDA

PAVING, GRADING & DRAINAGE PLAN

SEAL:

JERRY ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 006791
STATE OF FLORIDA

SCALE: 1" = 30'
DATE: 6/30/2014
DRAWN BY:
CHECKED BY: G.Z.
PROJECT No. 2014-31
SHEET No. C-1

PAVING & DRAINAGE DETAILS PLAN

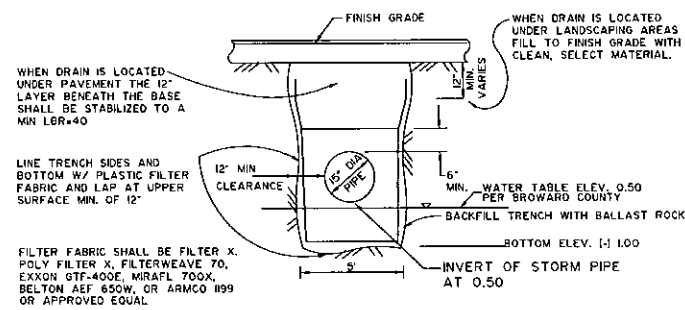
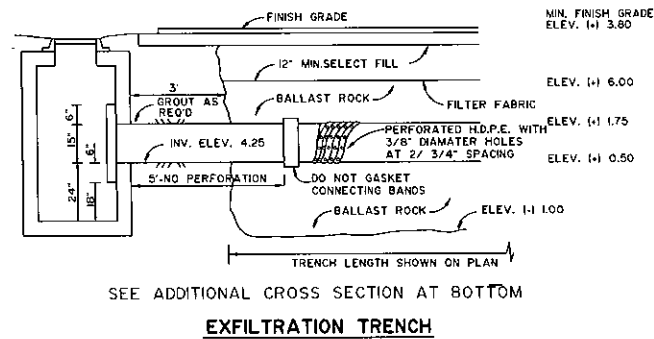
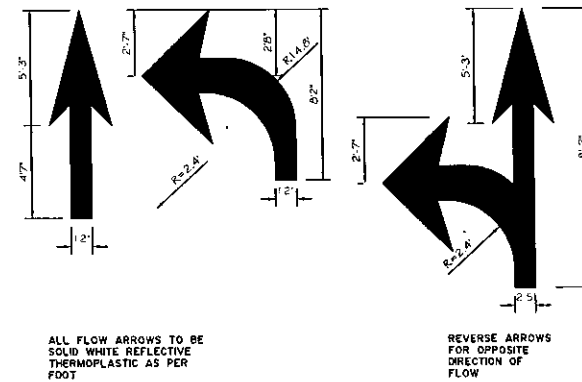
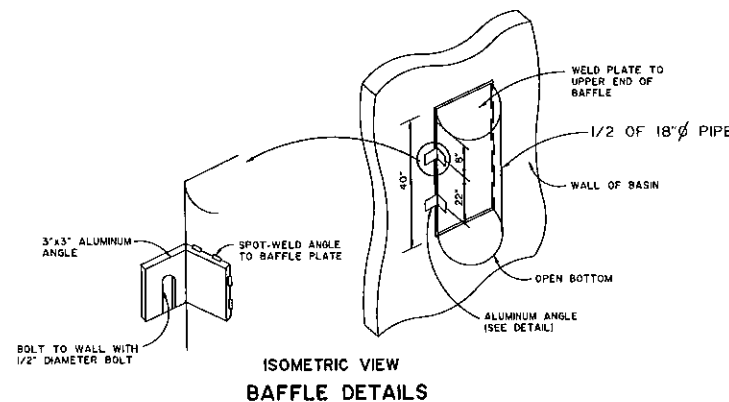
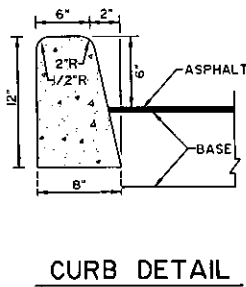
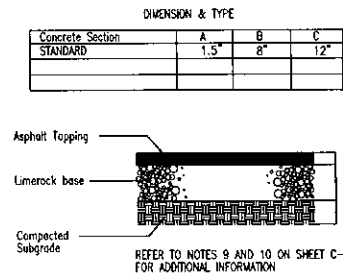
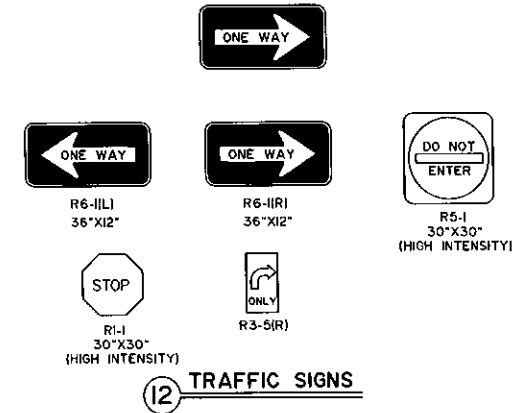
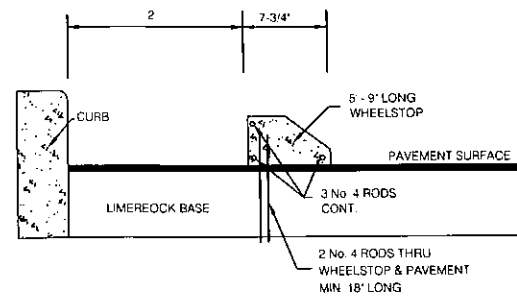
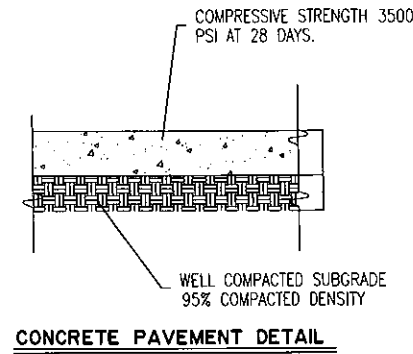
REVISIONS:

ZAMORA & ASSOCIATES, INC.
 ENGINEERING LAND PLANNING
 11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
 (305) 273-7801

PROJECT: OWNER:
 FAMILY DOLLAR 2901 GRIFFIN ROAD DANIA BEACH, FLORIDA

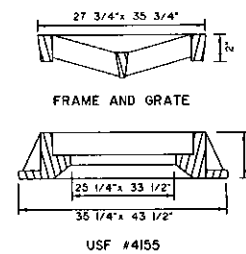
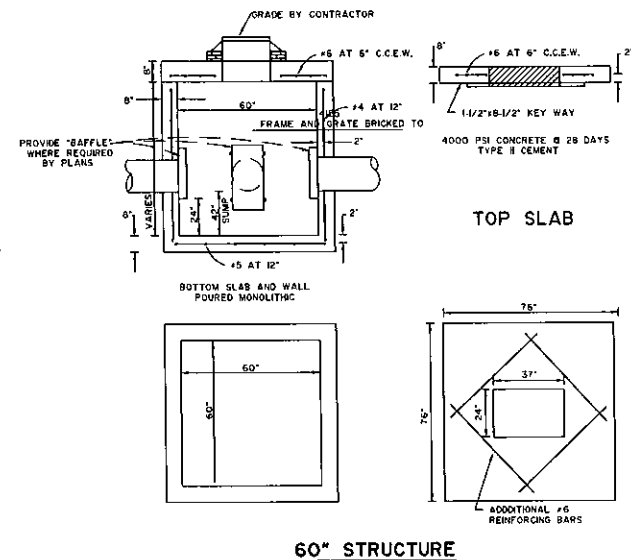
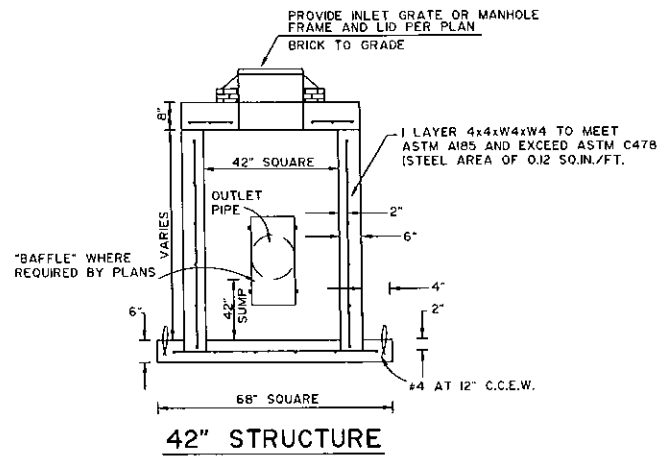
SEAL: JERRY ZAMORA P.E. CIVIL ENGINEER P.E. No. 44207 (S. 000679) STATE OF FLORIDA
 SCALE: 1" = 30'
 DATE: 6/30/2014
 DRAWN BY: CHECKED BY: G.Z.
 PROJECT No. 2014-31
 SHEET No. **C-2**

STRUCTURE TABLE						
NO.	TYPE	RIM ELEV.	FLOOR ELEV.	INVERT ELEV.	# OF Baffles	LOCATION
1	60" INLET	3.90	1-1 3.00	(+) 0.50	2	W & S
2	60" INLET	3.85	1-1 3.00	(+) 0.50	2	N & W
3	60" INLET	3.85	1-1 3.00	(+) 0.50	2	N & E
4	60" INLET	3.85	1-1 3.00	(+) 0.50	4	N & S, E
5	42" MH	5.30	1-1 3.00	(+) 0.50	0	-
6	60" INLET	4.80	1-1 3.00	(+) 0.50	2	E & W
7	42" INLET	3.70	1-1 3.00	(+) 0.50	0	-
8	42" INLET	4.90	1-1 3.00	(+) 0.50	1	WEST
9	42" INLET	3.70	1-1 3.00	(+) 0.50	0	-



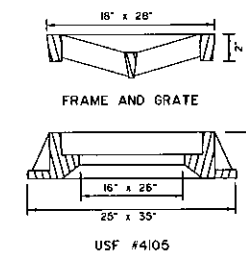
- NOTES:
1. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE AT ELEVATION 1-1 1.00 FEET UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
 2. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH WILL BE COMPLETED IN ACCORDANCE WITH THE DETAILS.

EXFILTRATION TRENCH



USF #4155 FRAME AND GRATE

TO BE INSTALLED ON 60" STRUCTURE



USF #4105 FRAME AND GRATE

TO BE INSTALLED ON 42" STRUCTURE

PAVING & DRAINAGE DETAILS PLAN

PAVING & DRAINAGE DETAILS PLAN

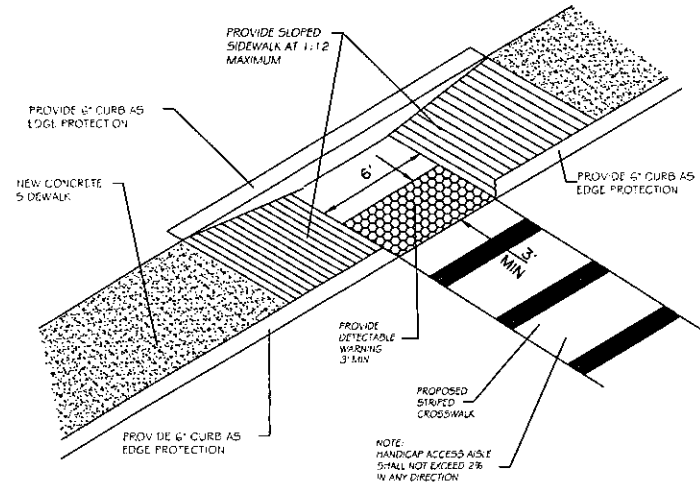
REVISIONS:

ZAMORA & ASSOCIATES, INC.
 ENGINEERING LAND PLANNING
 SUITE 302 MIAMI, FLORIDA 33176
 1410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
 (305) 273-9514 FAX (305) 273-9514

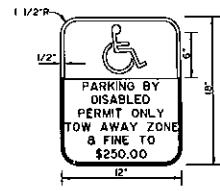
PROJECT: FAMILY DOLLAR 2901 GRIFFIN ROAD DANIA BEACH, FLORIDA
 OWNER: ZAMORA & ASSOCIATES, INC.

SEAL: JERRY ZAMORA P.E. CIVIL ENGINEER P.E. No. 44207 E.B. 0006791 STATE OF FLORIDA
 SCALE: 1" = 30'
 DATE: 6/30/2014
 DRAWN BY: G.Z.
 CHECKED BY: G.Z.
 PROJECT No. 2014--31
 SHEET No. C-3

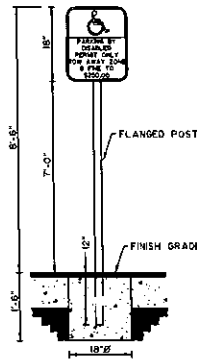
PAVING & DRAINAGE DETAILS PLAN



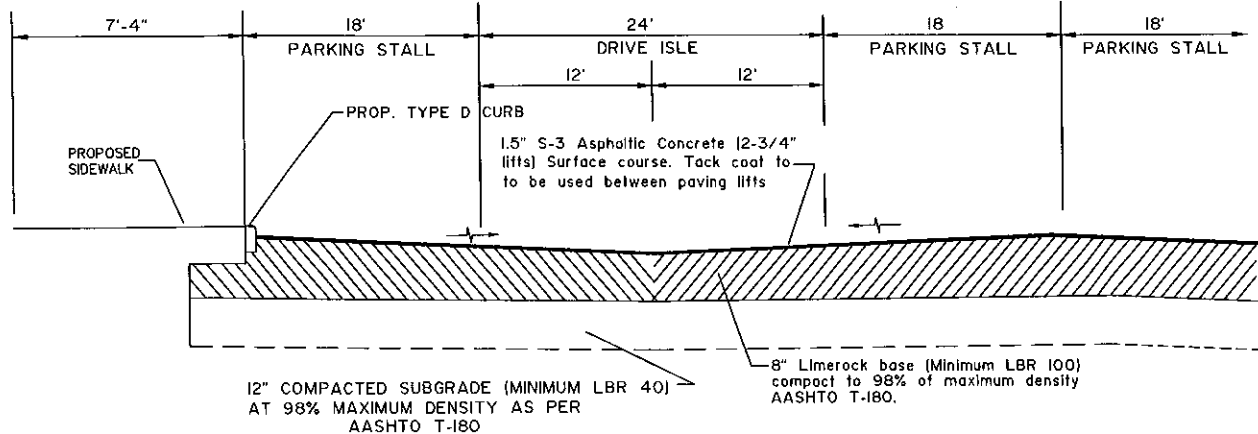
HANDICAP RAMP



13 HANDICAPPED SIGN DETAIL

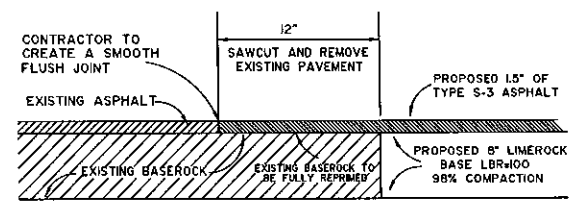


13 HANDICAPPED SIGN DETAIL



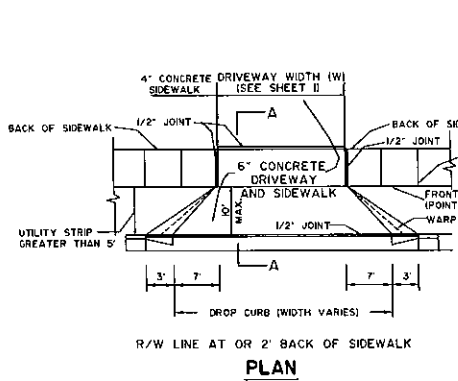
SECTION A-A

SCALE: N.T.S.

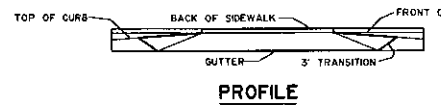


DETAIL FOR MATCHING EXISTING PAVEMENT

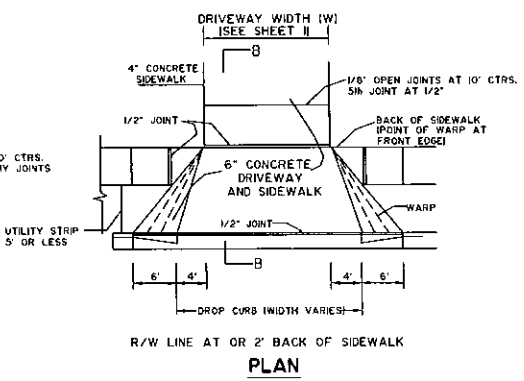
(BUTT JOINT)
N.T.S.



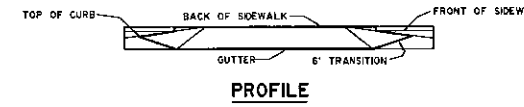
PLAN



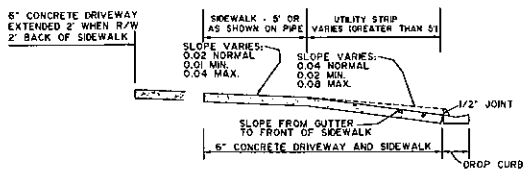
PROFILE



PLAN

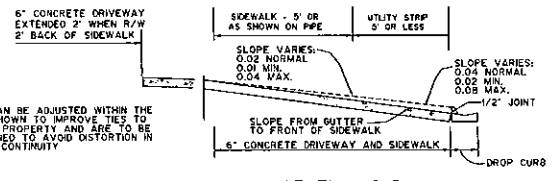


PROFILE



SECTION A-A

WHEN DISTANCE BETWEEN CURB & SIDEWALK IS GREATER THAN 5'

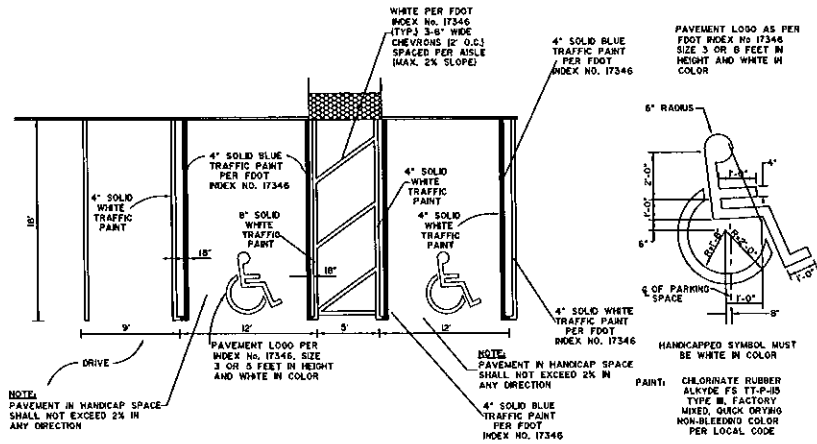


SECTION B-B

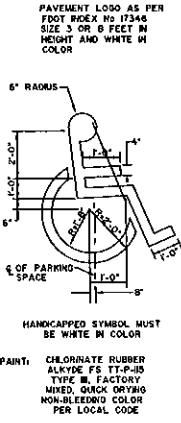
WHEN DISTANCE BETWEEN CURB & SIDEWALK IS 5' OR LESS

THIS IS A PORTION OF FDOT INDEX NO. 515. CONTRACTOR IS TO SEE ENTIRE DETAIL SHOWN ON FOOT DRIVEWAY PERMIT.

FLARED TURNOUT - DRIVEWAY DETAIL



8-9 TYPICAL PARKING SPACES MARKINGS



HANDICAPPED SYMBOL MUST BE WHITE IN COLOR
 PAINT: CHLORINATE RUBBER ALKYD FS TT-P-85 TYPE B, FACTORY MIXED, QUICK DRYING NON-LEADED COLOR PER LOCAL CODE.

WHITE PER FOOT INDEX NO. 17346 (TYP) 3/4\"/>

4\"/>

PAVEMENT LOSS AS PER FDOT INDEX NO. 17346 SIZE 3 OR 6 FEET IN HEIGHT AND WHITE IN COLOR

4\"/>

NOTE: PAVEMENT IN HANDICAP SPACE SHALL NOT EXCEED 2% IN ANY DIRECTION

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NOTE: PAVEMENT IN HANDICAP SPACE SHALL NOT EXCEED 2% IN ANY DIRECTION

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Know what's below.
Call before you dig.

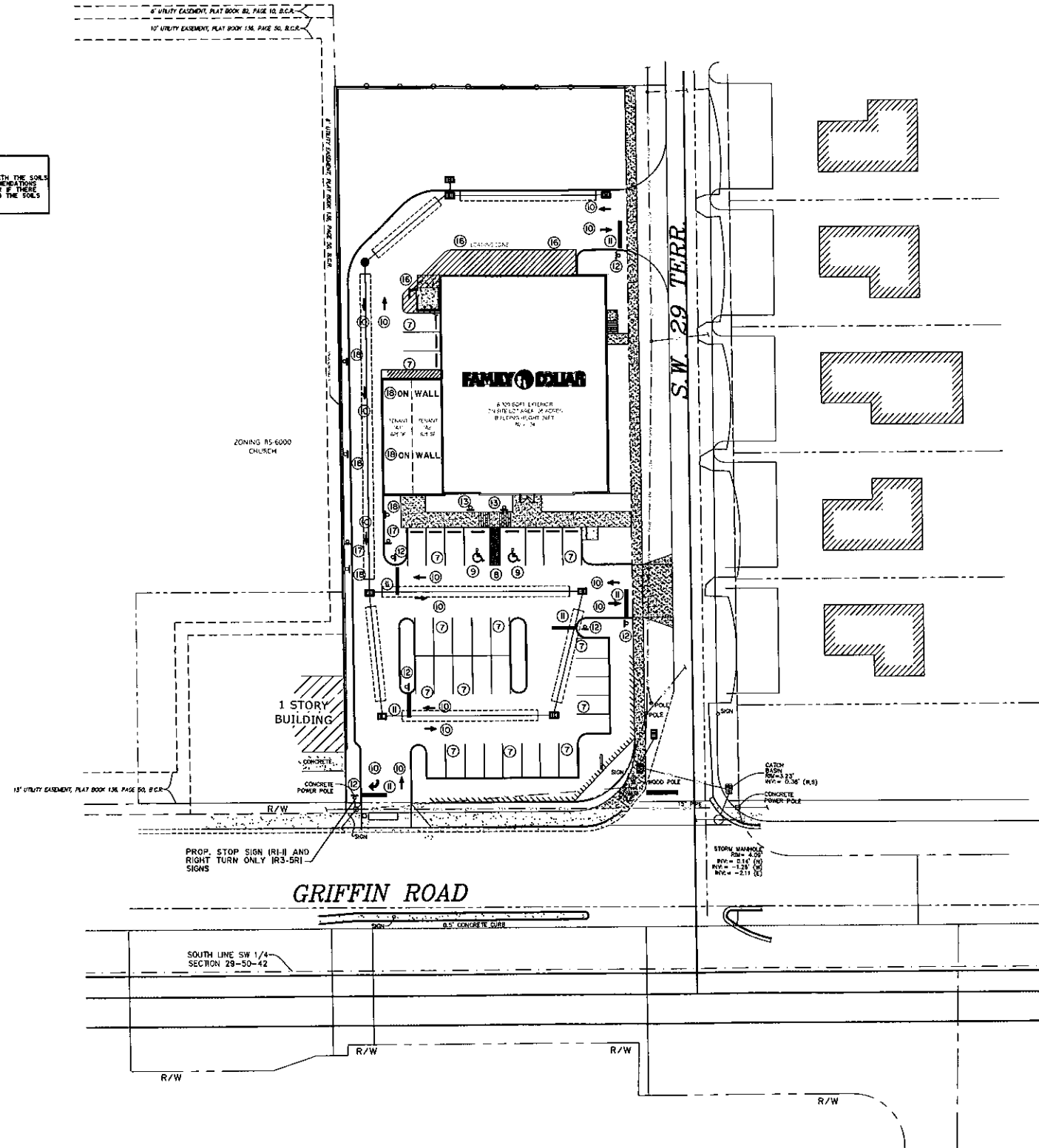


SCALE 1" = 30'

LEGEND

- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- RUN OFF DIRECTION
- EXIST. TYPE "F" CURB & GUTTER
- PRDP. TYPE "F" CURB & GUTTER
- DRAINAGE STRUCTURE NUMBER
- SP INDICATES WATER SAMPLING POINT

NOTE TO CONTRACTOR
 CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOILS REPORT AND SHALL IMPLEMENT ALL RECOMMENDATIONS IDENTIFIED. CONTRACTOR TO NOTIFY OWNER IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE SOILS REPORT.



SCHEDULE NOTES

- ① NEW 6" TYPE "D" CONCRETE CURB
- ② NEW WHEEL STOP/BUMPER
- ③ EXISTING PAVEMENT LINE
- ④ NEW ASPHALT PAVEMENT
- ⑤ NEW CONCRETE PAVEMENT
- ⑥ NEW CONCRETE SIDEWALK
- ⑦ NEW 4" PAINTED STRIPING (SINGLE)
- ⑧ NEW 4" PAINTED WHITE STRIPING
- ⑨ NEW TYPICAL PAINTED "WHITE" HANDICAP SYMBOL
- ⑩ NEW PAINTED DIRECTIONAL ARROW
- ⑪ NEW 24" WIDE PAINTED WHITE STOP BAR THERMOPLASTIC
- ⑫ NEW STOP SIGN (R1-1)
- ⑬ NEW TYPICAL "HANDICAP" SIGN
- ⑭ NEW HANDICAP RAMP (1/2 MAX SLOPE)
- ⑮ NEW 3" MINIMUM DETECTABLE WARNING
- ⑯ NEW 6" YELLOW W/12" YELLOW 5' O.C.
- ⑰ NEW "DO NOT ENTER" SIGN
- ⑱ NEW "NO PARKING FIRE LANE" SIGN

REVISIONS:

ZAMORA & ASSOCIATES, INC.
 ENGINEERING
 LAND PLANNING
 SUITE 302 MIAMI, FLORIDA 33176
 11410 N. KENDALL DRIVE (305) 273-7501
 FAX (305) 273-9514

PROJECT: OWNER:
 FAMILY DOLLAR
 2901 GRIFFIN ROAD
 DANIA BEACH, FLORIDA

PAVEMENT MARKING & SIGNAGE PLAN

SEAL:

JERRY ZAMORA P.E.
 CIVIL ENGINEER
 P.E. No. 44207
 E.B. 0006791
 STATE OF FLORIDA

SCALE: 1" = 30'
 DATE: 6/30/2014
 DRAWN BY:
 CHECKED BY: G.Z.
 PROJECT No. 2014-31
 SHEET No.



Know what's below.
Call before you dig.



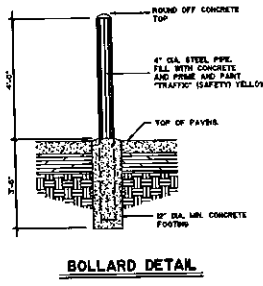
SCALE 1" = 30'

WATER & SEWER PLAN

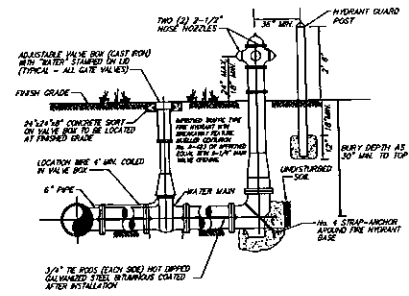
NOTE
Underground utility information is taken from the best available sources, but should be verified by contractor in the field with the appropriate utility agency prior to commencement of any work.
Existing utility lines other than those indicated in this drawing may be on site. The contractor is warned to proceed with caution with all work. He is to make all possible investigation as to possible unmarked utility lines.

- GENERAL NOTES:**
- All new fire hydrant shall be per BCWWS standards and shall be of the compression type with the bottom valve opening to be five and one-fourth (5 1/4) inches in diameter. They shall be erected so as to have the center of the sewer connection a minimum of sixteen (16) inches above the crown of the nearest roadway or eighteen (18) inches above the surrounding ground and with the steamer opening of four and one-half (4 1/2) inches (maximum height) in size with four (4) National Standard Threads per inch. All fire hydrants shall be "Traffic Type" to breakway upon impact. The fire hydrant main body valve shall open against the flow and shall close the flow.
 - Clearances of seven and one-half feet (7' 6") all around the fire hydrants. "No parking" signs or other designation indicating that parking is prohibited shall be provided in the seven and one-half (7'-6") space on both sides of the center line of the hydrant. All pavement markings shall be of thermoplastic paint. (Florida Fire Prevention Code NFPA 1 2000 Edition Section 3-5.6.2.1)
 - No fire hydrants shall be substantially obscured or access impeded from the adjacent roadway or access way by placing walls, vehicles, plants or other form of visual screening. No visual screen or physical blockage shall be placed to any point within seven and one-half feet (7' 6") all around the fire hydrant. One (1) blue double-reflective department of transportation type road marker is to be adhered to the hard surfaces roadway in the middle of the lane nearest to, and directly in front of the newly installed fire hydrants.
 - Fire hydrants shall be located within seven (7) to ten (10) feet of the curb line of fire lanes, streets, or private streets when installed along such access ways.
 - Water main depth vary from 3 feet to 4 feet.
 - There shall be no shutoff valve in the fire hydrant connection. (NFPA 24 2-6.3 1992 edition)
 - Fire Department connection shall be two and one-half inch N.S.T. hose connections not less than one foot nor more than three feet above grade. Location of all slamese connections shall be approved by the Fire Department. (SFBC 3805.2a 1999 edition)
 - An approved straightway check valve shall be installed in each fire department connection, location as near as practicable to the point where it joins the system. (NFPA 24 2-6.4 1992 edition)
 - Where underground water mains and hydrants are to be provided, they shall be installed, completed and in service prior to construction work. (NFPA 241 6-7.2.2)
- Note 1:** The plans must clearly indicate that the contractor will be responsible for visibly indicating that hydrants are "out of service." The "out of service" designation must remain on the hydrant until the hydrants are accepted by the Engineering Department. Out of service rings or other approved methods must be used to identify the "out of service" hydrants.
- Note 2:** The plans must clearly indicate that the contractor shall notify the Engineer and City of Miami Fire and Engineering Department 24 hours prior to testing. A representative from the fire department will be required to witness all flow tests. Results of the flow tests shall be documented by the installing contractor and forwarded to the City of Dania Beach Fire and Engineering Departments.
- Note 3:** The plans shall clearly indicate that the contractor is responsible for color coding of fire hydrants. Fire hydrants shall be color coded as soon as possible after acceptance by the City of Dania Beach Fire and Engineering Departments.
- The required width of access roadways shall not be obstructed in any manner, including parking of vehicles. "No Parking" signs or other appropriate notice, or both, prohibiting obstruction shall be permitted to be required and shall be maintained. (NFPA 241 5-4.4.4)

- NOTES:**
- All fire hydrants to be installed at least five (5) feet from the curb.
 - All slamese connections to be installed within five (5) feet from the curb.
 - All slamese connections, fire hydrants, check valves, risers shall be pointed end.
 - All work to be performed as per Broward County WWS Broward County Department of Planning & Environmental Protection (DPEP) and the Broward County Health Department.
 - SP denotes location of bacteriological sampling point.
 - Water main pipes shall be in compliance with the following specifications:
Ductile Iron Pipe ANSI/AWWA C 15/A21.5
 - Minimum pipe cover shall be 30 inches for ductile iron pipe
 - Pressure testing shall be in compliance with AWWA C-600-05.
 - Leakage test shall be based on 2 hour test with a minimum pressure of 150 psi.
L = 150 times the square root of P / 133,200
L is the allowable leakage in gallons per hour
S is the length of pipe tested in feet
D is the nominal diameter of the pipe in inches
P is the average test pressure during the leakage test, in pounds per square inch, gage.
 - Disinfection shall be in compliance with AWWA C 651-05.
 - All abandoned service lines must be per BCWWS standards.
 - All existing and proposed water mains shall cross over the new drainage, storm pipes and all sanitary sewers.
 - No fire line connections will be made to a certified water main until they have been cleared by B.C.H.O.
 - Fire hydrants must be installed at least 5' from curb.
 - A horizontal distance of 10 feet shall be maintained between water and sewer mains. When the 10 foot horizontal distance criteria cannot be met due to an existing underground facility conflict, the sewer shall be constructed of ductile iron pipe with mechanical joints.
 - A vertical distance of at least 18 inches shall be maintained between any water and sewer mains. The sewer shall be PVC (C-900), single 20 foot length centered on the crossing if the minimum vertical distance is less than 18 inches or the sewer installed is above the water main (regardless of separation).
 - All water main installations shall comply with the color coding requirements of Chapter 62-555.320 FAC.



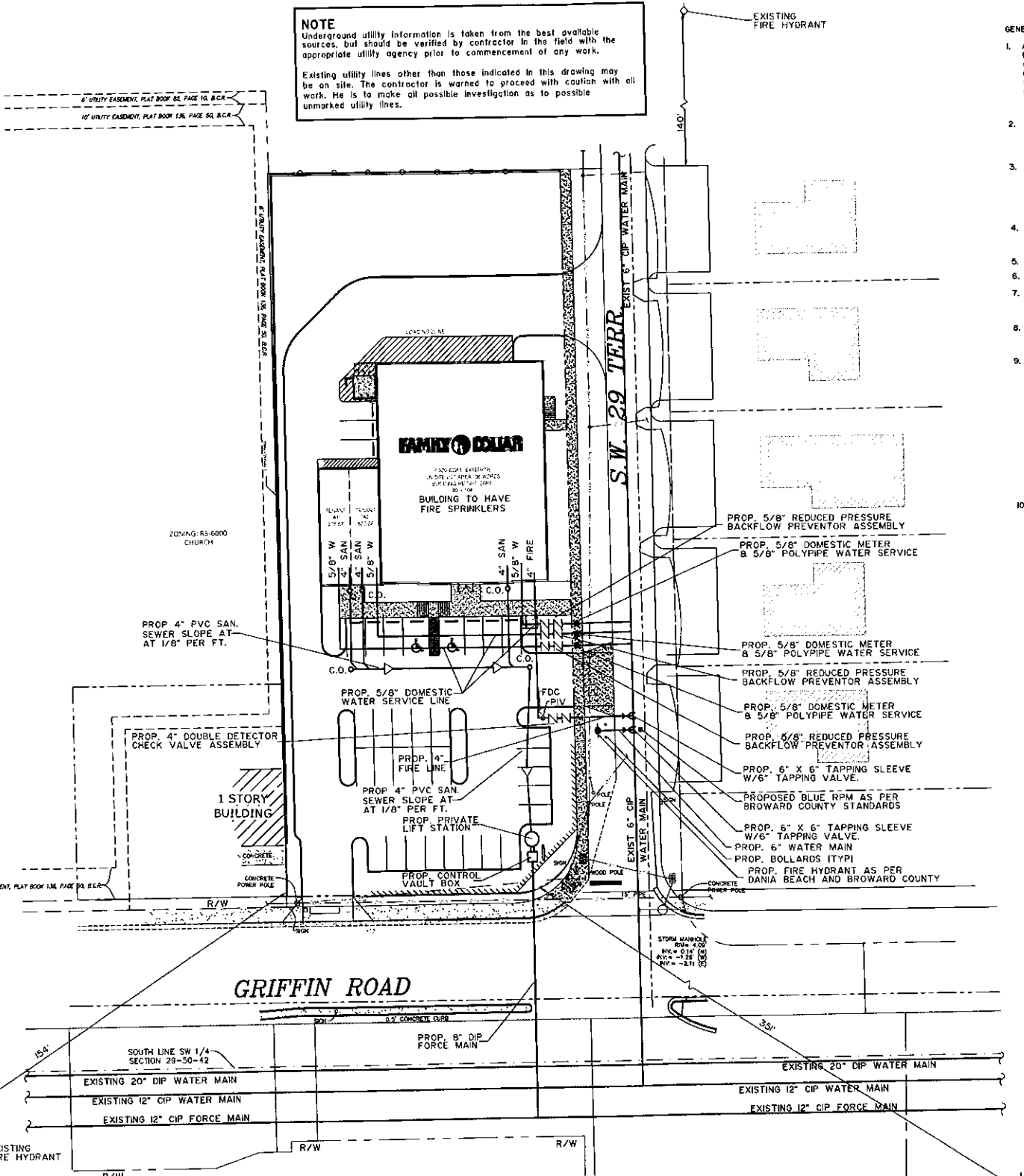
- LEGEND**
- EXISTING PAVEMENT
 - - - PROPOSED PAVEMENT
 - EXISTING ELEVATION
 - - - PROPOSED ELEVATION
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT
 - RUN OFF DIRECTION
 - EXIST. TYPE "F" CURB & GUTTER
 - PROP. TYPE "F" CURB & GUTTER
 - DRAINAGE STRUCTURE NUMBER
 - SP INDICATES WATER SAMPLING POINT



NOTE:
ALL EXTERIOR SURFACES OF THE FIRE HYDRANT MUST BE COATED WITH RUST-O-LEAM PRIMER IN 300 DRAIN-PROOF RED, THEN PAINTED RUST-O-LEAM YELLOW. GUARDPOSTS TO BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE CITY OF DANIA BEACH WHEN REQUIRED. THERE SHALL BE 4 GUARDPOSTS MAX. AND SHALL BE 4" CALV. STEEL PIPE FILLED WITH CONCRETE. THEY ARE TO HAVE A MIN. 12" X 12" CONCRETE BASE USING 3000 PSI CONCRETE AND BE 4 FEET APART.
THE STEAMER OPENING IS TO BE 4 1/2" INCHES IN SIZE WITH FOUR NATIONAL STANDARD THREADS PER INCH.
ALL FIRE HYDRANTS ARE TO "TRAFFIC TYPE" TO BREAK UPON IMPACT.
THE FIRE DEPARTMENT MAIN BODY VALVE SHALL OPEN AGAINST THE FLOW AND SHALL CLOSE WITH THE FLOW.

FIRE HYDRANT INSTALLATION

- GENERAL NOTES:**
- ALL MATERIALS AND LABOR UNDER THIS PROJECT SHALL CONFORM TO THE BROWARD COUNTY WATER & WASTEWATER SERVICES DEPARTMENT, THE ENVIRONMENTAL PROTECTION DEPARTMENT AND THE FLORIDA BUILDING CODE STANDARDS AND SPECIFICATIONS.
 - EXISTING UTILITY LINES OTHER THAN THOSE INDICATED IN THIS DRAWING MAY BE ON SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK. HE IS TO MAKE ALL POSSIBLE INVESTIGATION AS TO POSSIBLE UNMARKED UTILITY LINES.
 - ALL CLEANOUTS IN DRIVEWAY TO HAVE TRAFFIC BEARING CAP.
 - COORDINATE WATER AND SEWER WORK WITH MECHANICAL AND PLUMBING PLANS.



CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH WATER AND WASTEWATER SERVICES (WWS) STANDARDS AND SPECIFICATIONS.
PLANS ARE IN ACCORDANCE WITH WWS MINIMUM DRAWING REQUIREMENTS DATED OCTOBER 2007.
STATE PLANE COORDINATES WILL BE SUPPLIED FOR THE DESIGN AND RECORD DRAWINGS.

DEVELOPER PLAN & ERU REVIEW
BROWARD COUNTY / WATER & WASTEWATER

BCWWS APPROVAL OF THIS SET OF DRAWINGS IS RELIANT UPON THE DRAWINGS CLEARLY SHOWING ALL EXISTING AND PROPOSED ABOVE GROUND STRUCTURES, WALLS, FENCES, UNDERGROUND PIPING, UNDERGROUND STRUCTURES, DUCT BANKS, TRANSFORMERS, POLES, RETENTION AREAS, PAVERS, AND SIGNIFICANT LANDSCAPING WITHIN RIGHTS OF WAY AND EXISTING AND PROPOSED POTABLE WATER AND/OR SANITARY SEWER EASEMENT. ALL EASEMENTS GRANTED TO BCWWS ARE EXCLUSIVE. BCWWS HEREBY AUTHORIZES ONLY THE ITEMS SHOWN ON THESE DRAWINGS WITHIN THE BCWWS EXCLUSIVE EASEMENTS TO BE WITHIN THE BCWWS EXCLUSIVE EASEMENTS.

REVISIONS:

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801

PROJECT: OWNER:
FAMILY DOLLAR 2901 GRIFFIN ROAD DANIA BEACH, FLORIDA

WATER & SEWER PLAN

SEAL:
JERRY ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

SCALE: 1" = 30'
DATE: 6/30/2014
DRAWN BY:
CHECKED BY: G.Z.
PROJECT No. 2014-31
SHEET No. C-6



Know what's below.
Call before you dig.



SCALE 1" = 30'

FIRE TRUCK & MARKING PLAN

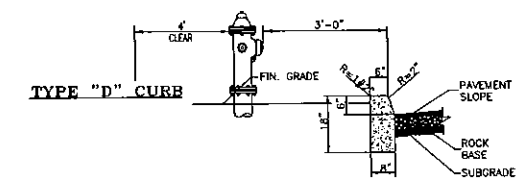
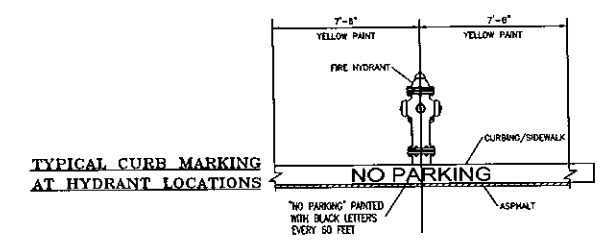
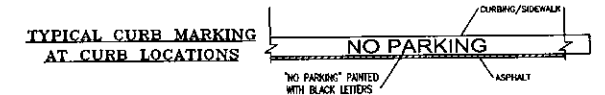
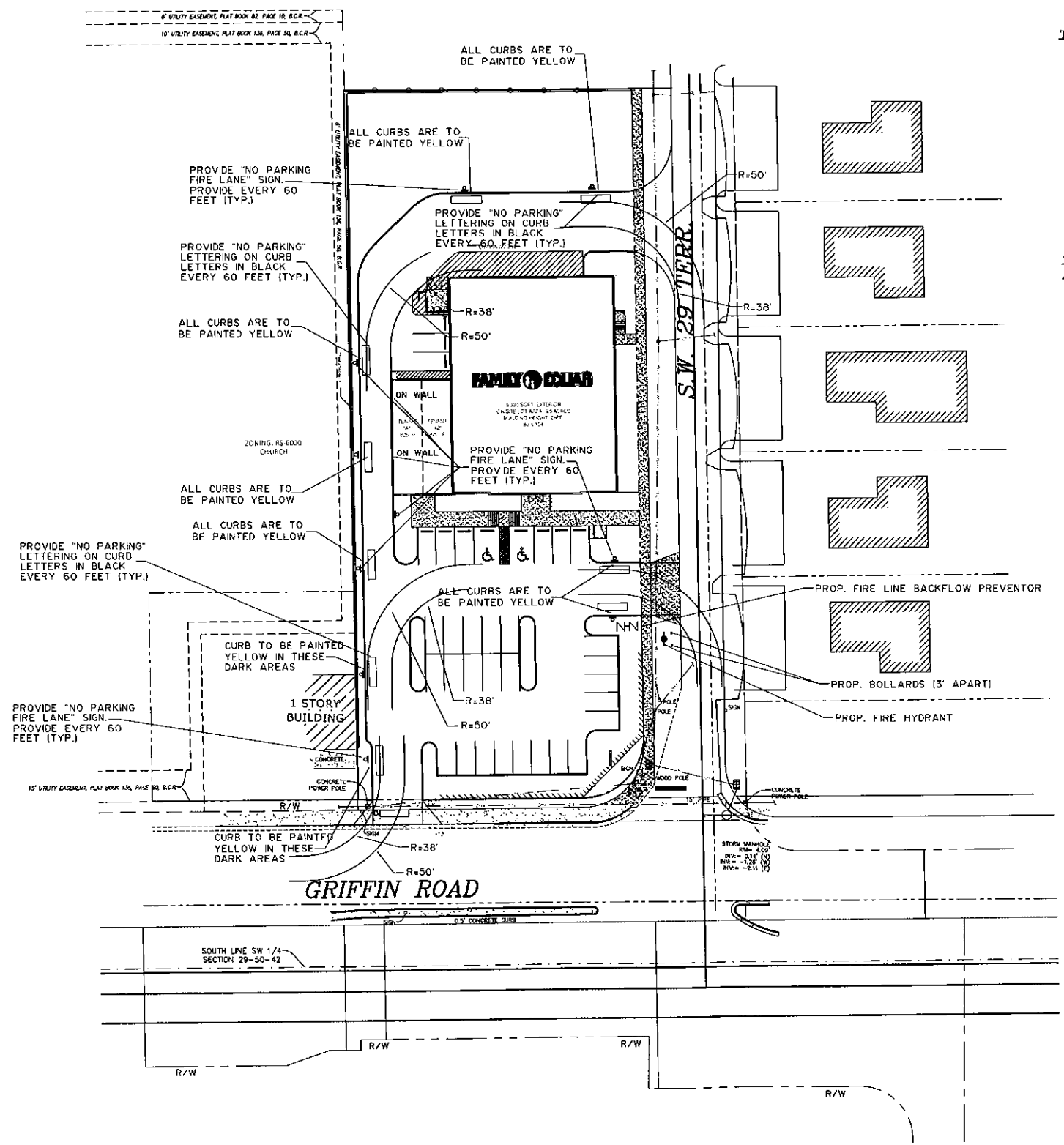
REVISIONS:

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

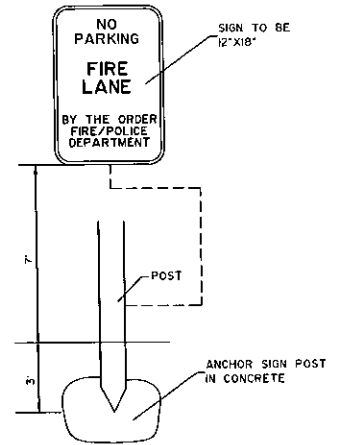
PROJECT: OWNER:
FAMILY DOLLAR
2901 GRIFFIN ROAD
DANIA BEACH, FLORIDA

SEAL:
JERRY ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0008791
STATE OF FLORIDA
SCALE: 1" = 30'
DATE: 6/30/2014
DRAWN BY: G.Z.
CHECKED BY: G.Z.
PROJECT No. 2014-31
SHEET No. FT

- LEGEND**
- EXISTING PAVEMENT
 - - - PROPOSED PAVEMENT
 - - - EXISTING ELEVATION
 - - - PROPOSED ELEVATION
 - ▨ PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT
 - ➔ RUN OFF DIRECTION
 - ▨▨▨ EXIST. TYPE 'F' CURB & GUTTER
 - ▨▨▨ PROP. TYPE 'F' CURB & GUTTER
 - DRAINAGE STRUCTURE NUMBER
 - SP INDICATES WATER SAMPLING POINT



NOTE:
ALL PAVEMENT MARKING SHALL BE THERMOPLASTIC PAINT



- NOTES:**
- "NO PARKING FIRE LANE BY ORDER OF FIRE/POLICE DEPARTMENT" SIGN AT MAX 60' O.C. SIGN TO BE 16" x 24" W/ RED LETTERS ON WHITE BACKGROUND
 - SIGN TO BE POSTED 7" ABOVE FINISHED GRADE ON B.C.T.E.D. STANDARD POST.



FANJUL & ASSOCIATES, L.L.C.
ARCHITECTURE, PLANNING & INTERIOR DESIGN

AA26000725

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PRESIDENT

165 MADEIRA AVENUE, SUITE 7
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"A BETTER LIFE THROUGH DESIGN"

ARTURO G. FANJUL A0017585
STATE OF FLORIDA REGISTERED ARCHITECT



DESIGN REVIEW COMMITTEE

DANIA BEACH
DESIGN REVIEW
COMMITTEE
PROPOSED SITE
2901 GRIFFIN ROAD
DANIA BEACH, FLORIDA

LANDSCAPE PLAN
PLANTING LEGEND
PLANTING NOTES

REVISION	NO.
12-16-14	REVISED PER DRC COMMENTS
02-26-15	REVISED
04-15-15	REVISED

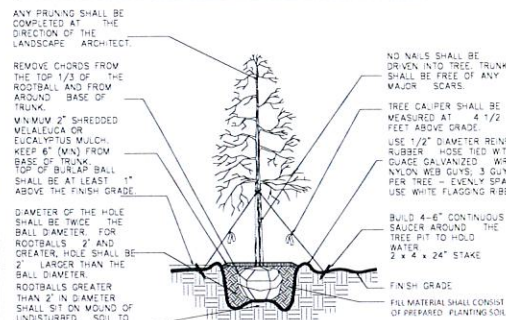
DATE: 6/25/2014
SCALE: AS NOTED
DRAWN: AGF
CHECKED: AGF
JOB NO: 13-1202
PERMIT NO:

OWNERSHIP
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LA 1

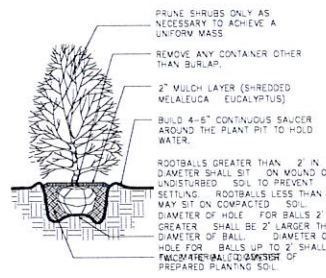
PLANTING NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER.
2. THE CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.
3. PLANTING SOIL SHALL BE SOD SAND SOD MUCK MULCHIFIED.
4. ALL PLANT BEDS SHALL BE EXCAVATED TO A DEPTH OF (24") TWENTY FOUR INCHES AND BACKFILLED WITH PLANTING SOIL.
5. ALL SHRUBS, TREES AND GROUND COVER SHALL RECEIVE (2") TO INCHES DEPTH OF SHREDDED RED MULCH UPON COMPLETION.
6. GENERAL FERTILIZER SHRUBS TREES AND GROUND COVER LESS 8-10 TO 10 OR EQUAL, SHALL BE APPLIED AT TIME OF PLANTING.
7. ALL TREES TO BE GUARANTEED FOR (1) ONE YEAR. SHRUBS FOR (6) SIX MONTHS.
8. ALL LANDSCAPE AREAS TO RECEIVE 100% COVERAGE FROM AUTOMATED IRRIGATION SYSTEM. SHALL BE KEPT WEED FREE AND MULCHED TO A MINIMUM THREE (3) INCH DEPTH.

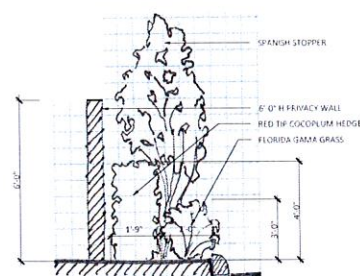


TREE PLANTING (2-4" CALIPER)

NOTE: TOP OF ROOT BALL SHALL BE AT LEAST 1/2" ABOVE THE FINISH GRADE.

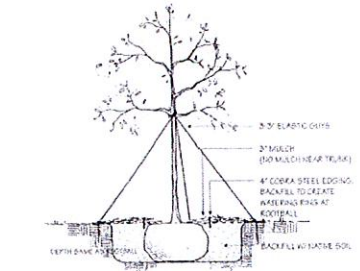


SHRUB PLANTING



TYPICAL LAYERING DETAIL

N.T.S.



GENERAL PLANTING NOTES:

1. PROVIDE ROOT BARRIER FOR ANY TREES THAT ARE WITHIN 10' OF SIDEWALKS OR PARKING AND WITHIN LANDSCAPE ISLANDS.
2. PROVIDE AT LEAST 8' BETWEEN AND BUILDINGS.

LANDSCAPE LEGEND - DANIA BEACH

ZONING PROPOSED	C-2	REQUIRED	PROVIDED
Shade trees - 1/40' Perimeter @ Residential	425 5 LF (DOUBLE ROW REQ.)	24	29
Shade trees - 1/40' Perimeter @ R.O.W	425 5 LF	12	17
Intermediate Parkgen Peninsulas	2 Islands 8'x36' 3 trees/ea.	6	6
Terminal Island		5	5
Other Trees for Mitigation & open Space			15
Shrubs	1/3 LF along residential	142	1701
Hedge	425 If Continuous hedge @ R.O.W.	425 If	650 If
Existing Canopy Area 4,340sf	10 Cat.1 + 12 Cat.2 = 4800 sf		
Landscape Open space	25%	11710	14332 31%
Landscape buffers—front yard/ROW	Min. 10'	10'	10'
Landscape buffers—side yard	Min. 10'	10'	5'-10'
Landscape buffers—rear yard	Min. 10'	10'	10'
Landscape buffers—off street parking areas	Min. 10'	10'	10'
Landscape islands—off-street parking areas	1 per every 10 req. parking spaces	10'	10'
Fence, wall, hedge heights—maximum.	Max. 8'; hedges 8'	Yes	6'-0"
Species Diversity			Number of Species Provided 7

LANDSCAPE LEGEND

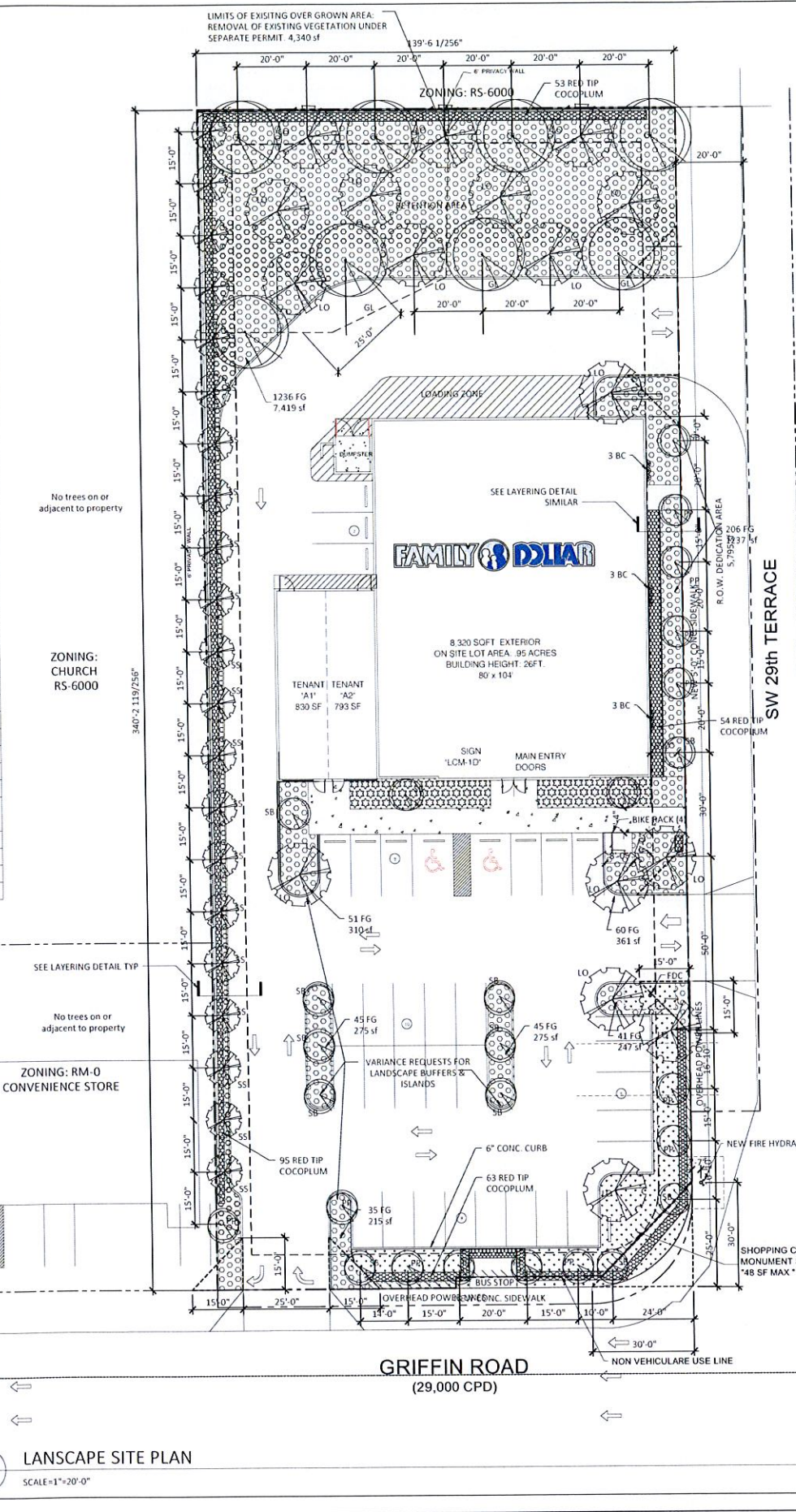
SYMBOL	TAG	NATIVE	YES/NO	COMMON NAME / LATIN NAME	QTY	BHD	HEIGHT	CANOPY DIAMETER	MATURE HEIGHT	SPACING	CATEGORY SIZE
TREES											
LO	LO	YES		LIVE OAK <i>Quercus Virginiana</i>	72						CATEGORY 1 SHADE
SB	SB	YES		SILVER BUTTWOOD <i>Conocarpus erectus</i>	14	2"	10'	8'	20'	25'-0"	CATEGORY 2 SMALL
PP	PP	YES		PIGEONPLUM <i>Coccoloba diversifolia</i>	12	2"	12'	8'	25'	20'	CATEGORY 2 INTERMEDIATE
GL	GL	YES		GUMBO LIMBO <i>Bursera simaruba</i>	8	2"	14'	12'	35'	20'	CATEGORY 1 SHADE
SS	SS	YES		SPANISH STOPPER <i>Eugenia foetida</i>	21	2"	6'	8'	20'	25'	CATEGORY 2 INTERMEDIATE
SHRUBS											
RT	RT	YES		HEDGE - RED TIP COCOPLUM <i>Chrysolepis laevis (2164 SF)</i>	361	7 gal	30"	2'	4'	3' O.C.	
FG	FG	YES		FLORIDA GAMA GRASS <i>Tripsacum floridana (10,203 sf)</i>	1701	3 gal	24"	2'	36"	2' O.C.	
WJ	WJ	YES	NO	WAX JASMINE <i>Jasminum volubile (618 sf)</i>	155	3 gal	24"	2'	36"	2' O.C.	
BC	BC	YES		Cross Vine, Trumpet Flower <i>Bignonia capreolata L.</i>	9	3 gal	24"				Climbing Accent Vine
GROUND COVER											
		YES		SOD ON LANDSCAPE AREAS <i>Palmetto St. Augustine (1347 sf)</i>	1347						
LANDSCAPE AREA TOTAL 14332											

VISIBILITY TRIANGLE NOTE:

WITHIN THE SITE TRIANGLE, NO LANDSCAPING MAY BE INSTALLED OR MAINTAINED ABOVE A HEIGHT OF 30 INCHES. UPON THE DISCRETION OF THE COMMUNITY DEVELOPMENT DIRECTOR, TREE TRUNKS WHICH DO NOT IMPEDE VISIBILITY AND HAVE NO BRANCHES OR LEAVES BELOW EIGHT FEET IN HEIGHT MAY BE ALLOWED WITHIN THE SITE TRIANGLE.

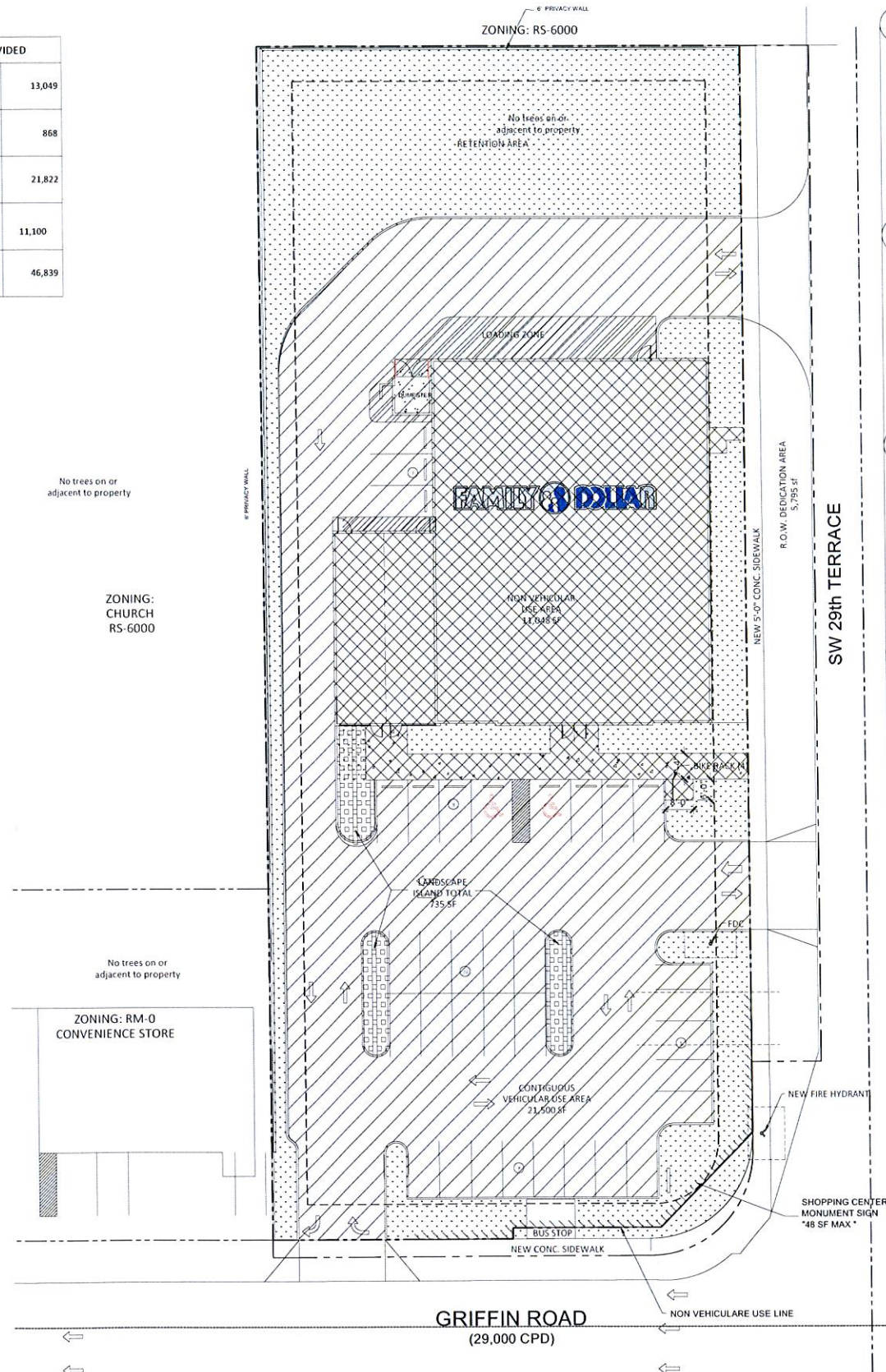
CITY OF DANIA BEACH STANDARD LANDSCAPE PLAN NOTES

1. A PRE-CONSTRUCTION MEETING WITH THE DANIA BEACH CITY ARBORIST IS REQUIRED PRIOR TO LANDSCAPING ACTIVITIES INCLUDING REMOVAL OF TREES AND/OR INSTALLATION OF PLANT MATERIAL. CALL 954-924-0423 A MINIMUM OF 5 DAYS PRIOR TO DESIRED START DATE TO SCHEDULE PRE-CONSTRUCTION MEETING.
2. ALL EXISTING TREES PROPOSED TO REMAIN ARE TO BE SEPARATED FROM THE LIMITS OF DISTURBANCE OF THE CONSTRUCTION AREA BY TREE PROTECTION FENCINGS AND SIGNAGE. THE TREE PROTECTION FENCINGS SHALL BE LOCATED AT THE EDGE OF THE TREE PROTECTION ZONE AS SHOWN ON THE PLAN OR AT THE EDGE OF THE DRIP-LINE(S) IF A TREE PROTECTION ZONE IS NOT DESIGNATED. NO MATERIAL STORAGE OR CONSTRUCTION ACCESS IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
3. ALL EXISTING TREES SHALL BE PRUNED TO ANSI A-300 STANDARDS TO CORRECT POTENTIAL HAZARDS.
4. A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO REMOVAL OF ANY TREE OR PALM. CONTACT THE DANIA BEACH CITY ARBORIST AT 954-924-6805 TO OBTAIN PERMIT INFORMATION.
5. LANDSCAPE CONTRACTOR SHALL NOTIFY SUNSHINE ONE CALL OF FLORIDA, INC. AT 1-800-432-4770 A MINIMUM OF 2 FULL BUSINESS DAYS PRIOR TO DIGGING. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO UTILITIES FROM PLANT INSTALLATION.
6. TREE RELOCATIONS:
 - 6.a. EXISTING TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF 120 DAYS PRIOR TO RELOCATION.
 - 6.b. MINIMUM ROOT BALL SIZES SHALL BE IN ACCORDANCE WITH ANSI STANDARDS AS FOLLOWS:
17/16" 27/24" 37/32" 47/42" 57/54" 67/60" * 77/70" 87/80" > 87/12" INCHES PER INCH OF TRUNK DIAMETER.
TRANSPORTED TREES WITH UNDERSIZED FOOT BALLS MAY BE REJECTED BY THE CITY ARBORIST AND REPLACEMENT TREES MAY BE REQUIRED.
 - 6.c. A TEMPORARY IRRIGATION SYSTEM SHALL BE PROVIDED DURING AND FOR THE FIRST 40 DAYS AFTER ROOT PRUNING.
 - 6.d. ALL PLANTING MUST FOLLOW PLANTING SPECIFICATIONS AND DETAILS SHOWN ON THE PLAN.
 - 6.e. SUBSTITUTIONS OF PLANT SPECIES OR SPECIFICATIONS MUST BE APPROVED IN WRITING BY THE DANIA BEACH CITY ARBORIST PRIOR TO USE.
 - 6.f. ALL PLANT MATERIAL PLANTED PER THIS LANDSCAPE PLAN SHALL BE FLORIDA GRADE #1 OR BETTER, AS SPECIFIED IN THE CURRENT EDITION OF THE FLORIDA DEPARTMENT OF AGRICULTURE'S GRADES AND STANDARDS FOR NURSERY PLANTS. DAMAGED PLANT MATERIAL SHALL BE REJECTED AND REPLACED PRIOR TO INSTALLATION.
 - 6.g. ALL SIZES SHOWN FOR PLANT MATERIAL ARE TO BE CONSIDERED MINIMUMS.
 - 6.h. WHERE QUANTITIES AND/OR SPECIES DIFFER BETWEEN THE PLANTING PLANS AND PLANT LISTS, THE PLANS SHALL TAKE PRECEDENCE.
 - 6.i. ALL NEW PLANT MATERIAL SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR. THE WARRANTY PERIOD SHALL BEGIN AFTER ACCEPTANCE OF THE PLANTS BY THE CITY ARBORIST.
 - 6.j. ALL PLANT BEDS TO BE TREATED WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING.
 - 6.k. ALL TREE AND PALM STAKING AND SUPPORT SHALL BE REMOVED ONE YEAR AFTER INSTALLATION.
 - 6.l. NO FERTILIZER SHALL BE APPLIED TO NEWLY PLANTED TREES AND PALMS.
 - 6.m. ALL LANDSCAPE MATERIAL SHALL BE THOROUGHLY WATERED AT THE TIME OF PLANTING, NO DRY PLANTING PERMITTED.
 - 6.n. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY WATER PROVISIONS UNTIL SUCH TIME AS THE IRRIGATION SYSTEM IS OPERATIONAL.
 - 6.o. ALL WIRE GUYS AND/OR FABRIC STRAPS SHALL BE FLAGGED WITH FLUORESCENT COLORED TAPE.
 - 6.p. MULCHING:
 - 6.p.a. ALL LANDSCAPE AREAS NOT COVERED BY SOD SHALL BE COVERED BY A MINIMUM 3" LAYER OF MULCH.
 - 6.p.b. A MULCH-RING WITH A RADIUS OF 24 INCHES (48 INCH DIAMETER), IS REQUIRED AROUND ALL NEWLY INSTALLED TREES AND PALMS.
 - 6.p.c. CYPRESS MULCH SHALL NOT BE USED.
 - 6.p.d. ALL NEW LANDSCAPED AREAS SHALL BE EXCAVATED DOWN TO A DEPTH OF 24 INCHES BELOW FINAL GRADE AND BACK FILLED WITH CLEAN DEBRIS-FREE SOIL. CONSTRUCTION ACCESS SHALL BE RESTRICTED FROM THE LANDSCAPE AREA AFTER EXCAVATION AND BACKFILL IS COMPLETE.
 - 6.p.e. ALL LANDSCAPE AREAS SHALL BE FINISH GRADED SUCH THAT THEY ARE A MINIMUM OF 35 INCHES BELOW SURROUNDING PAVED SURFACES SO AS NOT TO IMPEDE THE FLOW OF DRAINAGE INTO LANDSCAPED AREAS AND TO ALLOW FOR A 3" INCH MULCH LAYER.



1 LANDSCAPE SITE PLAN
SCALE 1"=20'-0"

HATCH	PERVIOUS & IMPERVIOUS	PROVIDED	
	Pervious Buffer Area	28%	13,049
	Pervious Island Area	2%	868
	Vehicular Use Area - Non Pervious	47%	21,822
	Non Vehicular Use Area - Non Pervious	24%	11,100
	Total Lot Area	100%	46,839



1
LA2
SCALE=1"=20'-0"



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ARTURO G. FANJUL ARO017595
STATE OF FLORIDA REGISTERED ARCHITECT



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DANIA BEACH DESIGN REVIEW COMMITTEE
PROPOSED SITE
2901 GRIFFIN ROAD
DANIA BEACH, FLORIDA

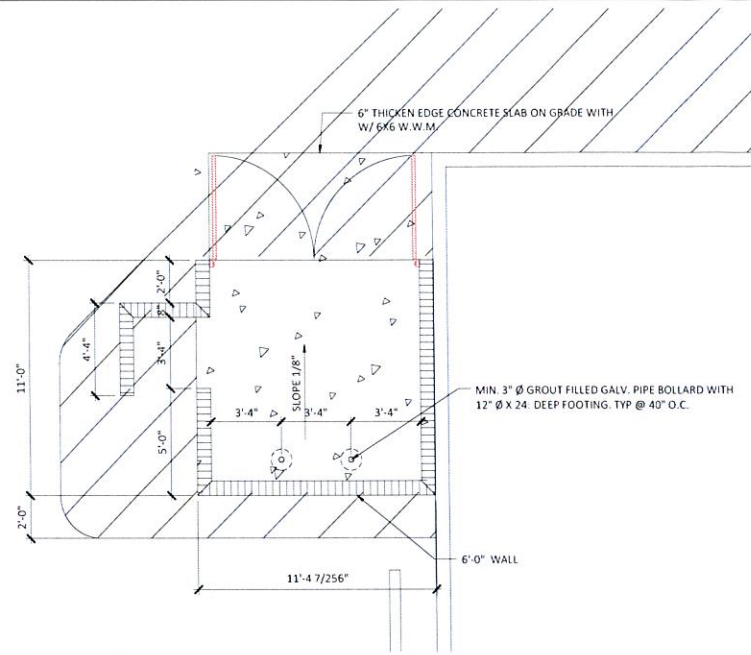
LANDSCAPE PLAN
PERVIOUS & NON PERVIOUS
SITE PLAN

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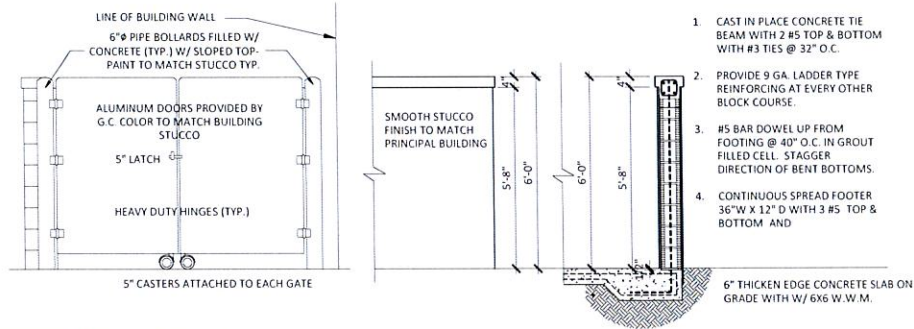
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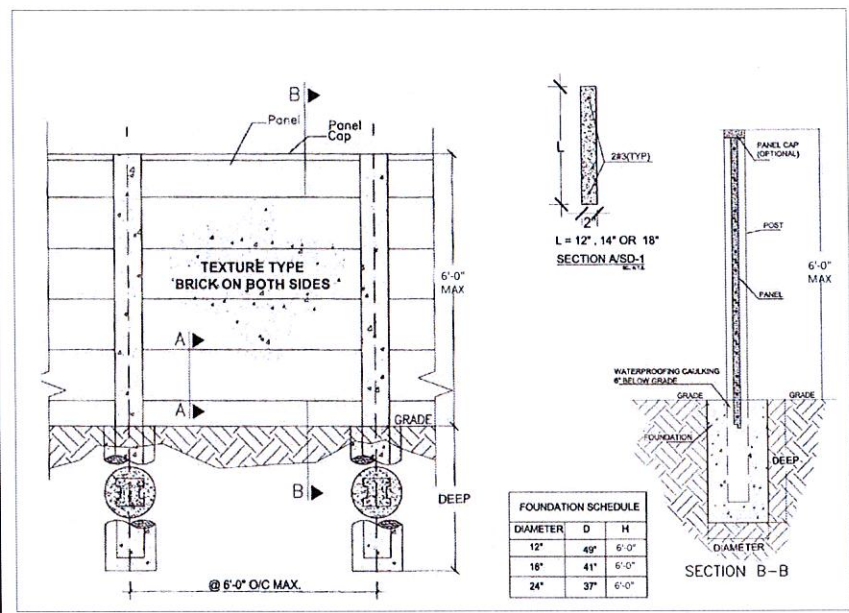
LA2



4 DUMPSTER ENCLOSURE PLAN
SP-1 SCALE=1/4"=1'-0"



3 DUMPSTER WALL DETAIL
SP-1 SCALE=3/8"=1'-0"



2 FENCE WALL DETAIL
SP-1 SCALE=3/4"=1'-0"

ZONING DATA - DANIA BEACH - PROPOSED C-2 CURRENTLY RS-6000

Total Site Area Acres	1.0753	AC	46839	sf
Family Dollar Building Size	8320	sf	80x104'	
Tenant "A1" & "A2"	1623	sf	29'-2"x 55'-8"	
Parking Required (Retail) (1/300 SF)	33	Parking Spaces Required		
Total Parking Provided On site	34	Parking Spaces Provided		
Total Parking Provided Off site	0	Parking Spaces Provided		
Standard Size of Parking Space	9' x 18'	Standard		
Total Handicap Parking Required	2	Required 2% FBC ADA 2012 Code		
Total Handicap Parking Provided	2	Handicap Spaces Provided		
Total Loading Required	1	Total Loading Required (12X35)		
Total Loading Provided	1	Total Loading Provided (12X35)		

LOT COVERAGE		ALLOWED	PROVIDED
Building Coverage	70%	32,787	9,943 21%
Vehicular Use and Walkways			22,979 49%
Total Impervious Area	75%	35,129	32,922 70%
Pervious Area	25%	11,710	13,917 30%

PROPOSED C-2 ZONING		REQUIRED	PROPOSED
Building Height Limit	35'-0"	Max	17.5' to 25'
Front Yard Setback	10'	South	136'
Rear Yard Setback (RS-6000)	10'	North	89.2'
Corner Side Yard Setback	10'	East	10'
Interior Side Yard Setback	0' or 10'	West	5'
Building Side Setback - RS	1X H'	20'	20.1'
Min Lot Area		4000	46839

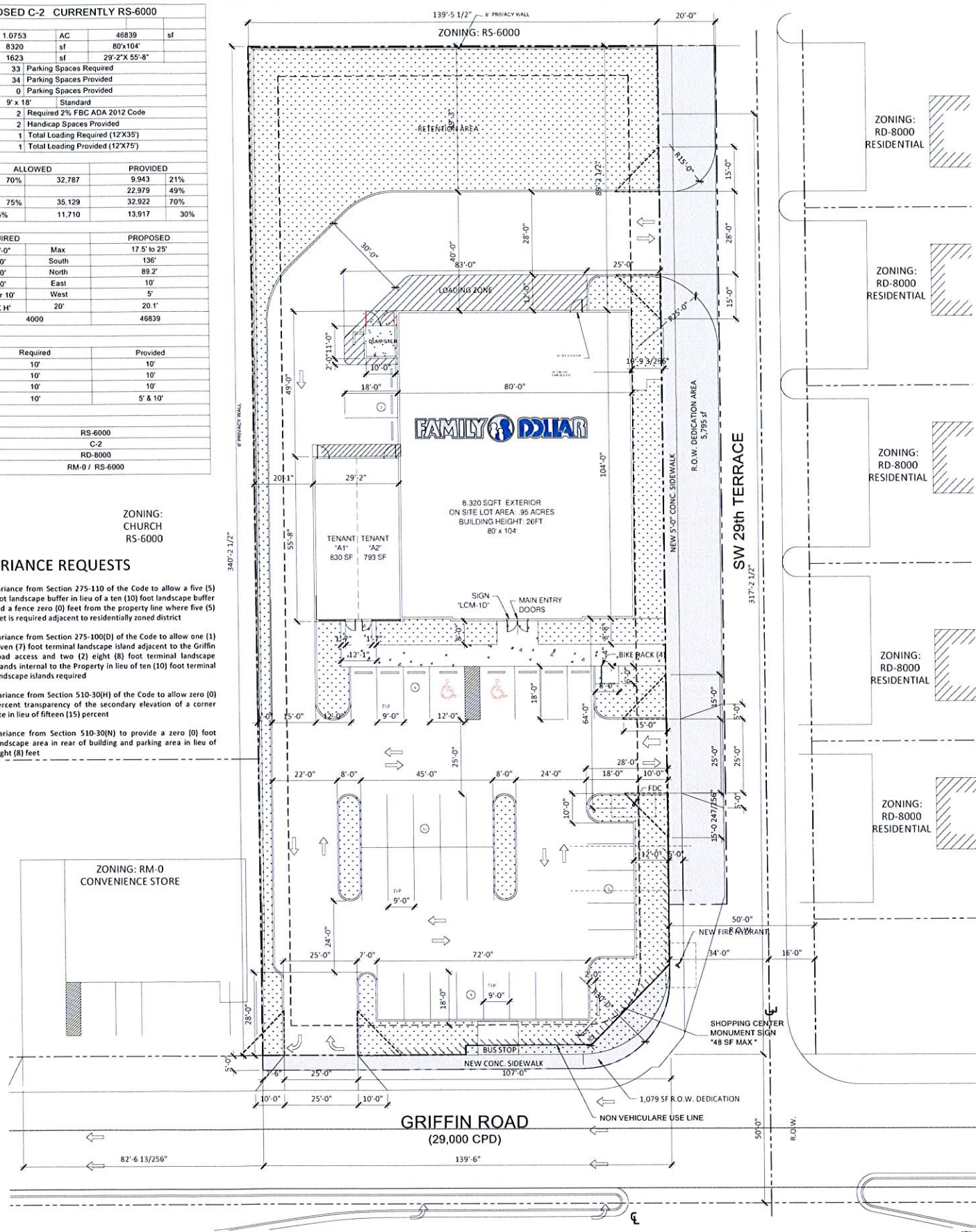
LANDSCAPE INFORMATION		Required	Provided
Tree Survey			
North Landscape Buffer	10'	10'	
South Landscape Buffer	10'	10'	
East Landscape Buffer	10'	10'	
West Landscape Buffer	10'	5' & 10'	

ADJACENT ZONING DISTRICTS	
North	RS-6000
South	C-2
East	RD-8000
West	RM-0 / RS-6000

ZONING: CHURCH RS-6000

VARIANCE REQUESTS

- Variance from Section 275-110 of the Code to allow a five (5) foot landscape buffer in lieu of a ten (10) foot landscape buffer and a fence zero (0) feet from the property line where five (5) feet is required adjacent to residentially zoned district
- Variance from Section 275-100(D) of the Code to allow one (1) seven (7) foot terminal landscape island adjacent to the Griffin Road access and two (2) eight (8) foot terminal landscape islands internal to the Property in lieu of ten (10) foot terminal landscape islands required
- Variance from Section 510-30(H) of the Code to allow zero (0) percent transparency of the secondary elevation of a corner site in lieu of fifteen (15) percent
- Variance from Section 510-30(N) to provide a zero (0) foot landscape area in rear of building and parking area in lieu of eight (8) feet



1 SITE PLAN
SP-1 SCALE=1"=20'-0"

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STATE OF FLORIDA REGISTERED ARCHITECT

FAMILY DOLLAR
DESIGN REVIEW COMMITTEE
DANIA BEACH DESIGN REVIEW COMMITTEE PROPOSED SITE
2901 GRIFFIN ROAD
DANIA BEACH, FLORIDA

SITE PLAN & ZONING DATA

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SP-1



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ARCHITECTURE, PLANNING & INTERIOR DESIGN

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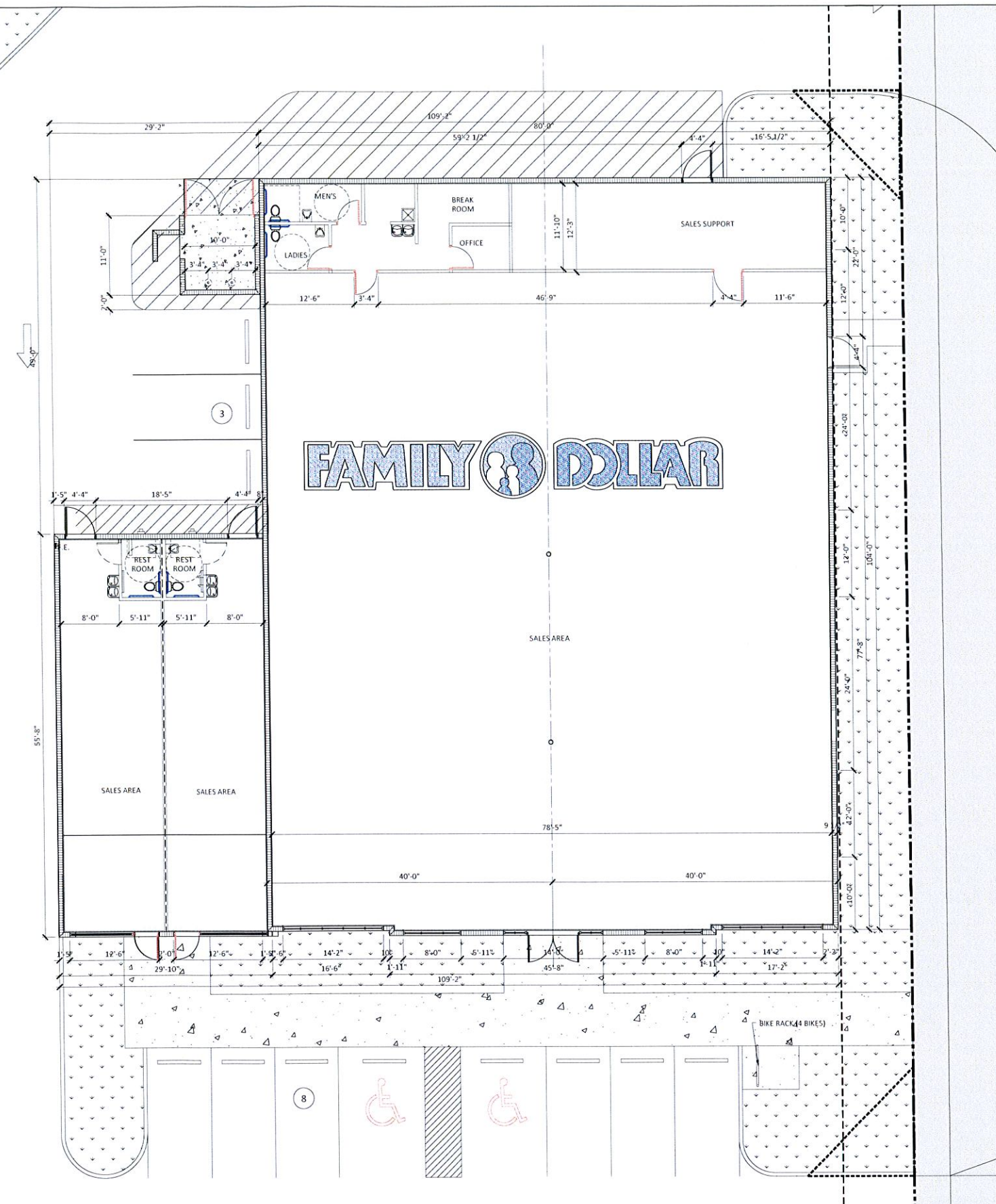
FLOOR PLAN

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SP-1.1



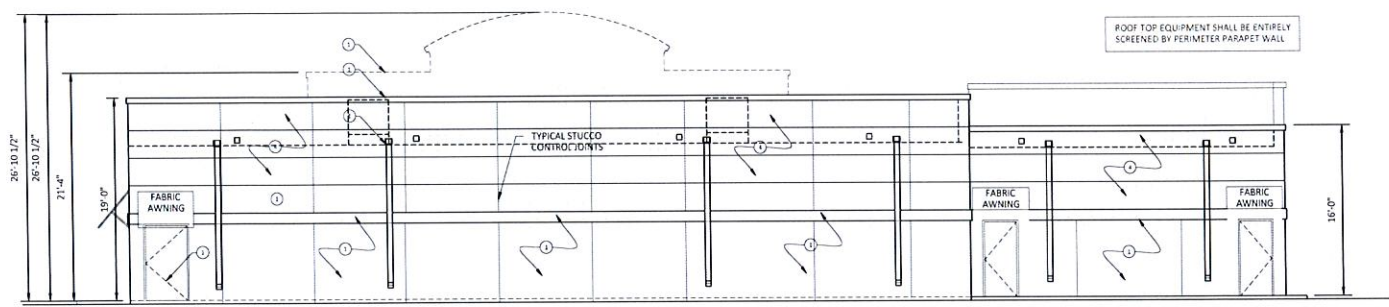
1 FLOOR PLAN
 SP1.1 SCALE=1/8"=1'-0"



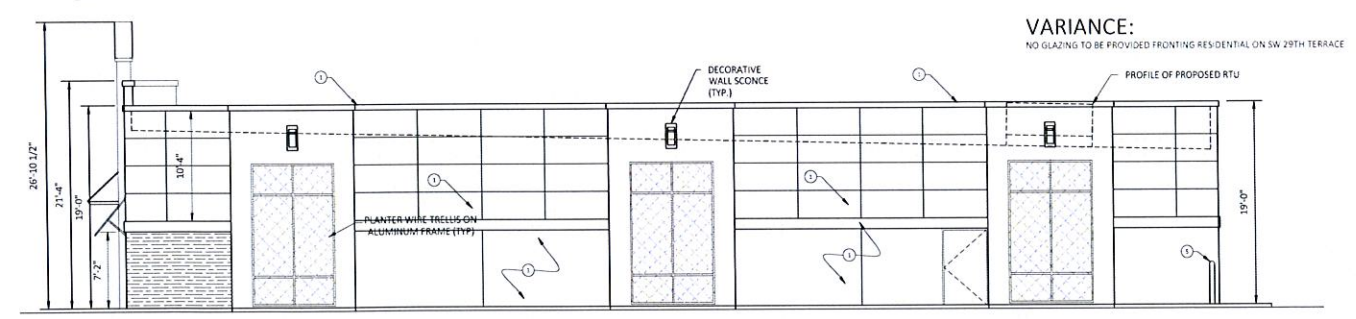
SP-2 SOUTH ELEVATIONS - PRIMARY ENTRANCE - FRONT ELEVATION
 SP-1 SCALE: 1/4" = 1'-0"

GLAZING AREA:
 FACADE TOTAL AREA = 2,369 SF 35% = 829.15 SF REQ.
 PROVIDED GLAZING AREA = 860 SF 36.3% = PROVIDED

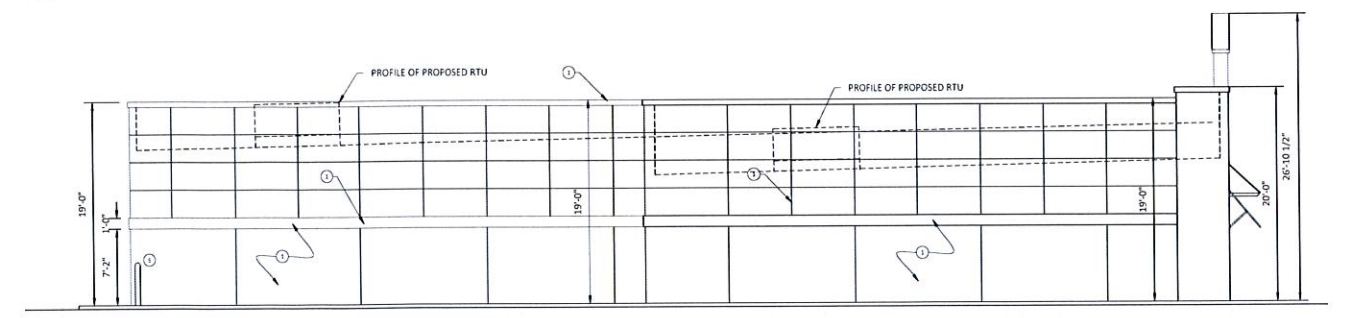
NO.	MATERIAL	FINISH	COLOR	MANUFACTURER
1	SMOOTH STUCCO	PAINT	SW 6122 CAMELBACK	SHERMAN WILLIAMS
2	METAL DOORS, TRIMS, CAPS & BANDING	PAINT	SW 6122 CAMELBACK	SHERMAN WILLIAMS
3	STOREFRONT FRAMES & DOORS	ANODIZED ALUMINUM		
4	SMOOTH STUCCO	PAINT	SW 6148 WOOL SKEIN	SHERMAN WILLIAMS
5	6" Ø PIPE BOLLARD	PAINT	SW 6868 REAL RED	SHERMAN WILLIAMS
6	METAL FALSHING AND WALL CAP	PAINT	SW 6868 REAL RED	SHERMAN WILLIAMS
7	STACKED STONE VENEER	STONE	Pagosa Springs	ELDORADO



2 NORTH ELEVATION - REAR ELEVATION
 SP-2 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION - SW 29TH TERRACE
 SP-2 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
 SP-2 SCALE: 1/8" = 1'-0"



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SP-2

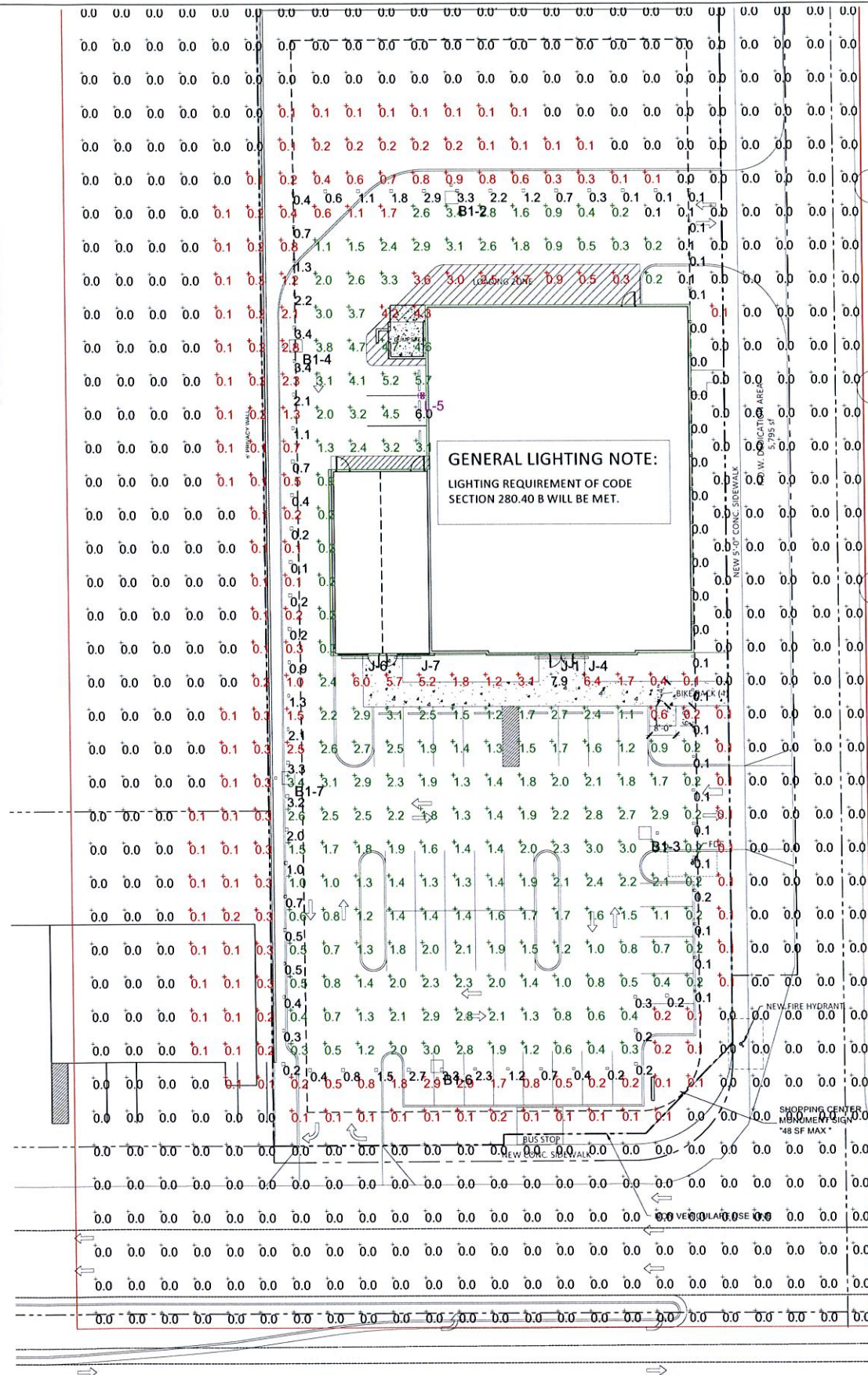
Luminaire Locations										
No.	Label	Location						Aim		
		X	Y	Z	MH	Orientation	Tilt	X	Y	Z
2	B1	70.37	287.57	25.00	25.00	180.00	0.00	70.37	286.32	0.00
3	B1	130.36	93.81	25.00	25.00	270.00	0.00	129.11	93.81	0.00
4	B1	19.06	239.71	25.00	25.00	89.41	0.00	20.31	239.72	0.00
6	B1	62.87	20.61	25.00	25.00	0.00	0.00	62.87	21.86	0.00
7	B1	15.21	110.65	25.00	25.00	90.00	0.00	16.46	110.65	0.00
1	J	97.89	146.26	11.00	11.00	90.00	0.00			
	J-1	99.93	146.26	11.00	11.00	90.00	0.00	99.93	146.26	0.00
	J-2	95.85	146.26	11.00	11.00	270.00	0.00	95.85	146.26	0.00
4	J	106.12	146.26	11.00	11.00	90.00	0.00			
	J-1	108.16	146.26	11.00	11.00	90.00	0.00	108.16	146.26	0.00
	J-2	104.08	146.26	11.00	11.00	270.00	0.00	104.08	146.26	0.00
6	J	39.33	146.52	11.00	11.00	90.00	0.00			
	J-1	41.37	146.52	11.00	11.00	90.00	0.00	41.37	146.52	0.00
	J-2	37.29	146.52	11.00	11.00	270.00	0.00	37.29	146.52	0.00
7	J	55.45	146.52	11.00	11.00	90.00	0.00			
	J-1	57.49	146.52	11.00	11.00	90.00	0.00	57.49	146.52	0.00
	J-2	53.41	146.52	11.00	11.00	270.00	0.00	53.41	146.52	0.00
5	L	60.90	224.73	12.00	12.00	270.00	0.00	60.90	224.73	0.00

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Lot Summary	✕	1.8 fc	6.0 fc	0.1 fc	60.0:1	18.0:1	0.3:1
PL Summary	□	0.8 fc	3.4 fc	0.0 fc	N/A	N/A	0.2:1
Spill Light Summary	+	0.5 fc	7.9 fc	0.0 fc	N/A	N/A	0.1:1

Note

1. Readings shown are based on a total LLF of .72 at grade.
2. Please refer to the "luminaire locations" table for mounting heights.
- 3- Product information can be obtained at www.Lithonia.com or through SL Bagby.
- 4- Product must be Acuity Brands/Lithonia Lighting and all pricing must originate from National accounts program at SL Bagby in Charlotte, NC Phone 704 334 2821.
5. Due to local spill ordinance this analysis does not comply to minimal IESNA levels for parking and pedestrian safety. Acuity Brands will not be liable for any safety related issues that may occur from the installation of this design.

Luminaire Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
✕	L	1	Lithonia Lighting	DSXW1 LED 20C 1000 40K T3M MVOLT	DSXW1 LED WITH 2 LIGHT ENGINES, 20 LED's, 1000mA DRIVER, 4000K LED, TYPE 3 MEDIUM OPTIC	LED	1	DSXW1_LED_20C_1000_40K_T3M_MVOLT.ies	5843.019	0.95	75
□	B1	5		KAD 320M SRASC (PULSE START)	Area Luminaire, 320W MH, High Performance SRASC Sharp Cutoff Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 320-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION.	1	KAD_320M_SRASC_(PULSE_START).ies	29700	0.72	368
+	J	4	Lithonia Lighting	TDMW 1 32	8FT WET LOCATION ENCLOSURE WITH (1) T8 LAMP, 50% DR HIGH IMPACT ACRYLIC LENS	ONE 32-WATT T8 LINEAR FLUORESCENT	1	DMW_1_32.ies	2900	0.75	72



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"A BETTER LIFE THROUGH DESIGN"

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STATE OF FLORIDA REGISTERED ARCHITECT



DESIGN REVIEW COMMITTEE

DANIA BEACH
DESIGN REVIEW
COMMITTEE
PROPOSED SITE

2901 GRIFFIN ROAD
DANIA BEACH, FLORIDA

PHOTOMETRIC SITE PLAN

REVISION	NO.
12-16-14 REVISED PER DRC COMMENTS	
02-26-15 REVISED	
04-15-15 REVISED	

DATE: 6/25/2014

SCALE:

DRAWN: AGF

CHECKED: AGF

JOB NO. 13-1202

PERMIT NO.

OWNERSHIP
OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT BE ARISE MADE & OR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

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Project Number
 013
 Issue Date
 07/27/2013
 Revisions

XXXX

PLAN NORTH



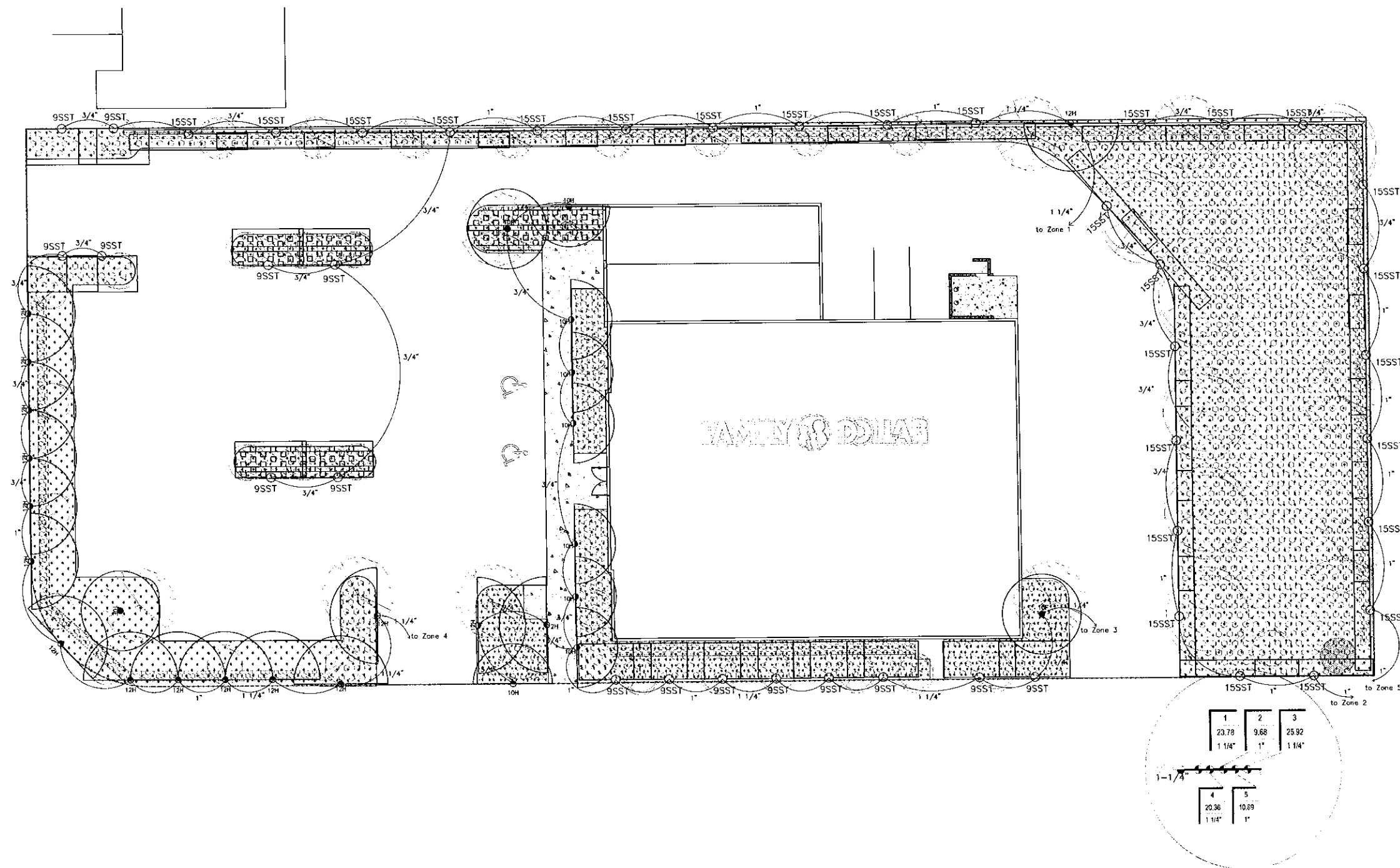
Cad File Name

Drawing Title

Irrigation

Sheet Number

IR-1

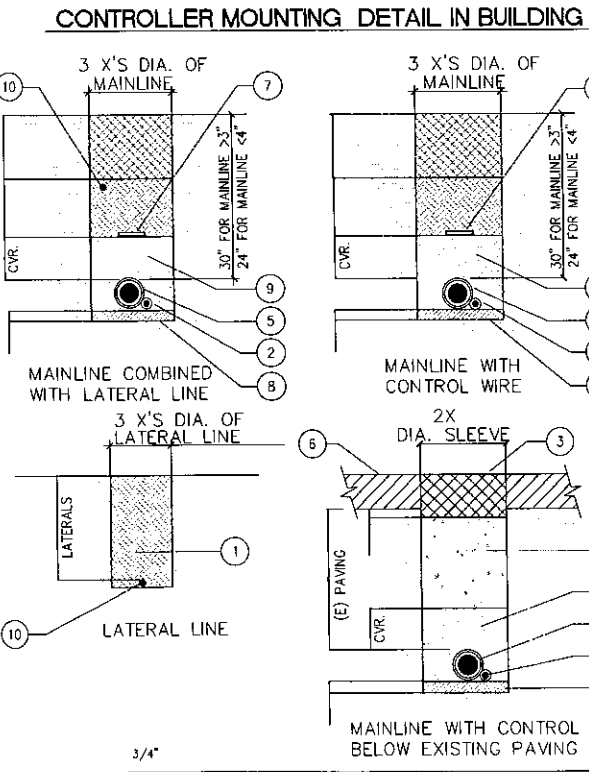
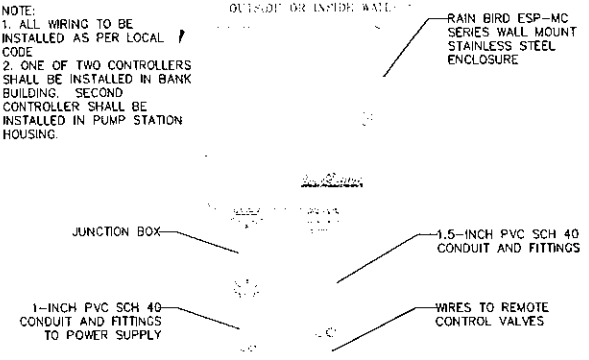


SCALE: 3/32"=1'-0"

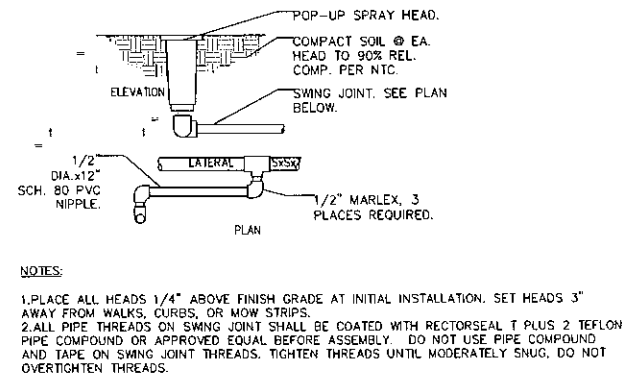
SPRAY HEAD							
SYM.	MFGR.	MODEL	NOZZLE	P.S.I.	G.P.M.	RADIUS	ARC
1	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
2	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
3	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
4	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
5	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
6	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
7	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
8	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
9	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
10	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
11	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
12	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
13	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
14	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
15	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
16	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
17	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
18	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
19	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°
20	RAINBIRD	ESP-MC	1/2"	30	1.5	10'	90°

MAINLINE AND EQUIPMENT SCHEDULE					
SYM.	DESCRIPTION	MFGR.	MODEL	SIZE	REMARKS
1	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
2	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
3	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
4	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
5	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
6	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
7	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
8	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
9	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
10	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
11	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
12	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
13	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
14	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
15	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
16	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
17	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
18	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
19	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.
20	RAINBIRD ESP-MC	RAINBIRD	ESP-MC	1/2"	30 P.S.I.

- IRRIGATION NOTES**
- IRRIGATION SYSTEM LAYOUT IS DIAGRAMMATIC. THE IRRIGATION CONTRACTOR WILL ADJUST THE FINAL SYSTEM INSTALLATION AND LAYOUT TO ACCOMMODATE SITE CONDITIONS AND PROVIDE OPTIMAL COVERAGE FOR LANDSCAPE PLANTS WITHIN THE PROJECT SITE LIMITS.
 - POINT OF CONNECTION---IRRIGATION CONTRACTOR TO CONNECT TO NEW IRRIGATION METER FROM REUSED WATER SERVICE FEED. CONTRACTOR SHALL PROVIDE NEW BACKFLOW PREVENTION DEVICE AND 1" BRASS GATE VALVE AS SPECIFIED IN SCHEDULE DOWNSTREAM FROM METER AND BRASS GATE VALVE UPSTREAM FROM METER BETWEEN METER AND POINT OF CONNECTION TO REUSED WATER SERVICE FEED. ALL VALVES SHALL BE INSTALLED IN FIBERGLASS OR EQUAL IN GROUND BOX SPECIFICALLY DESIGNED FOR IRRIGATION USE. SEE CIVIL UTILITY DRAWINGS FOR METER AND EXISTING LINE DETAILS AND SPECIFICATIONS.
 - SIZE ALL PIPES, VALVES, AND NOZZLES/NOZZLE TYPES PER PLAN. FROM ZONE VALVES STEP DOWN LATERAL PIPE SIZES AS REQUIRED TO COMPENSATE FOR DOWNSTREAM FLOW.
 - ALL MAIN LINES SHALL BE SCHEDULE 40 PVC AND OF PURPLE PIPE. PROVIDE SCHEDULE 80 SLEEVES UNDER ALL PAVEMENT CROSSINGS MINIMUM TWICE DIAMETER OF PIPE IT IS SLEEVING AND AS NOTED ON PLAN. ALL SLEEVES SHALL BE BURIED A MIN. 24" DEEP TO TOP OF PIPE UNLESS OTHERWISE STATED. ALL ZONE VALVE WIRES SHALL BE PLACED INSIDE GREY UL RATED CONDUIT WHEN CROSSING PAVEMENTS AND HARDSCAPE SURFACES.
 - IRRIGATION SYSTEM SHALL BE CAPABLE OF PRODUCING A MINIMUM OF 30 P.S.I. MIN. AT THE BASE OF EACH IRRIGATION HEAD SIMULTANEOUSLY WITHIN EACH ZONE, AND ALL HEADS SHALL HAVE AN INTERNAL PRESSURE REGULATING DEVICE AS SPECIFIED IN RAINBIRD S.A.M. MODEL NUMBERS ON IRRIGATION SCHEDULE.
 - IRRIGATION CONTRACTOR WILL BE RESPONSIBLE FOR ALL EQUIPMENT AND MATERIALS NECESSARY FOR A COMPLETE AND OPERABLE IRRIGATION SYSTEM.
 - INSTALLATION IS TO INCLUDE COMPLIANCE WITH ALL APPLICABLE CODES, PRESSURE TESTING OF COMPLETE MAINLINE NETWORK, AND ALL HARDWARE AND CONNECTIONS NECESSARY INCLUDING WATER AND ELECTRICAL.
 - THE INTENDED LOCATION FOR THE IRRIGATION CONTROLLER IS OUTSIDE THE BUILDING'S AREA AND COORDINATION OF LOCATION AND ELECTRICAL SUPPLY/CONNECTION SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. IRRIGATION CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. PROPER GROUNDING EQUIPMENT AND SURGE PROTECTION SHALL BE PROVIDED. A RAIN SENSOR SHALL BE INSTALLED OUTSIDE IN AN INCONSPICUOUS LOCATION TO OVERRIDE CONTROLLER DURING RAIN EVENTS. THE RAIN SENSOR WILL BE LOCATED AND MOUNTED TO THE ROOF OF BUILDING OR IN AN ALTERNATE LOCATION OUT OF VIEW FROM PASSERSBY. RAIN SENSOR MUST BE FREE OF CANOPY COVER IN ORDER TO WORK PROPERLY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL UTILITY AGENCIES TO VERIFY UTILITY LOCATIONS ON THE PROPERTY SITE. THE CONTRACTOR SHOULD VISIT THE SITE PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL REQUIRED TO MAKE THE SYSTEM FUNCTION PROPERLY. ALL IRRIGATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. THE IRRIGATION SYSTEM HAS BEEN DESIGNED TO COMPLY WITH XERISCAPE PRINCIPLES AS SPECIFIED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT. THE IRRIGATION CONTRACTOR WILL GET APPROVAL FROM THE LANDSCAPE ARCHITECT FOR ANY CHANGES TO THE SYSTEM LAYOUT OR DESIGN THAT MAY AFFECT THE INITIAL DESIGN REQUIREMENTS OR OVERALL PERFORMANCE OF THE SYSTEM.
 - ALL VALVES, MANUAL AND AUTOMATIC, SHALL BE INSTALLED IN A FIBERGLASS BOX MANUFACTURED FOR IRRIGATION PRODUCTS AND SHALL BE ARRANGED FOR EASY ADJUSTMENT AND REMOVAL. TYPICALLY, ELECTRONIC ZONE VALVES WILL BE INSTALLED IN 12"x18" BOXES, MANUAL VALVES IN 8" CIRCULAR BOXES. VALVE BOXES SHALL BE FLUSH WITH SURROUNDING GRADES. THE FLOW ADJUSTMENT FEATURE OF EACH VALVE SHALL BE UTILIZED TO BALANCE OPERATING PRESSURES THROUGHOUT THE SYSTEM.
 - WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS. REFER TO MANUFACTURE'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
 - ALL RECYCLED/REUSED WATER IRRIGATION SYSTEM COMPONENTS, I.E. REMOTE CONTROL VALVE FLOW CONTROL HANDLES, DRIP CAPS, VALVE BOX LIDS, SPRINKLER HEAD CAPS ETC. SHALL BE NON-POTABLE (NP) TYPE, PURPLE IN COLOR.
 - ALL BURIED RECYCLED STORMWATER LINES (PRESSURE/NON-PRESSURE) SHALL BE PURPLE COLORED PIPE WITH CONTINUOUS WORDING "CAUTION RECYCLED WATER" PRINTED ON OPPOSITE SIDES OF THE PIPE. THE USE OF CONTINUOUS LETTERING ON 3" MINIMUM WIDTH PURPLE TYPE WITH ONE INCH BLACK OR WHITE CONTRASTING LETTERING BEARING THE CONTINUOUS WORDING "CAUTION RECYCLED WATER" PERMANENTLY AFFIXED AT TEN FOOT INTERVALS ATOP ALL HORIZONTAL PIPING, LATERALS AND MAINS IS AN ACCEPTABLE ALTERNATIVE TO THE USE OF PURPLE PIPE. IDENTIFICATION TAPE SHALL EXTEND TO ALL VALVE BOXES AND/OR VAULTS, EXPOSED PIPING ETC.

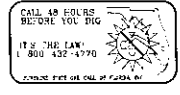


TRENCHING



POP-UP SPRAYER

- LEGEND**
- WATER JET BEDDING AND BACKFILL FOR PIPELINE INSTALLATION. TYPICAL FOR ALL NATURAL EARTH BACKFILL.
 - POSITION CONTROL WIRES IN LOWER LEFT OR RIGHT HAND QUADRANT OF MAINLINE. TAPE WIRE AT 10' INTERVALS; DO NOT SECURE TO MAINLINE.
 - MATCH TYPE AND GRADE OF EXISTING PAVING
 - 2 SACK SLURRY BACKFILL
 - MAINLINE AND CONTROL WIRES, EACH IN SCH. 40 P.V.C. SLEEVE
 - EXISTING PAVING
 - TRACER TAPE
 - SAND BED
 - SAND COVER
 - LATERAL LINE
- NOTES**
- PIPE BEDDING AND BACKFILL SHALL BE WATER JETTED TO ACHIEVE PROPER DENSIFICATION.
 - PIPE AND CONTROL WIRE CROSSING VEHICULAR ROADWAY SHALL BE SLEEVED AS INDICATED ABOVE
 - ELECTRICAL SLEEVE: 3" MIN; LARGER IF REQUIRED BY INSPECTOR.
 - IRRIGATION SLEEVE: TWO PIPE SIZES LARGER THAN WATER PIPE SIZE.



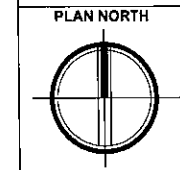
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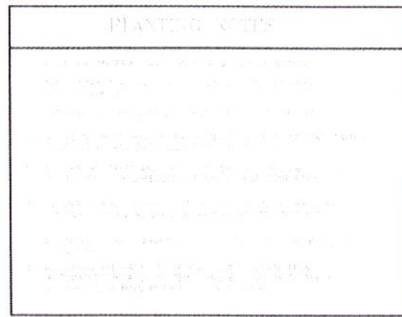
Project Number
013
Issue Date
07/27/2013
Revisions

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Cad File Name
Drawing Title
Irrigation
Sheet Number

IR-2



LANDSCAPE LEGEND - DANIA BEACH

ZONING PROPOSED	REQUIRED	PROVIDED
Shade trees - 1/40' Perimeter @ Residential	425.5 LF [DOUBLE ROW REQ.]	24
Shade trees - 1/40' Perimeter @ R.O.W	425.5 LF	12
Intermediate Parkign Peninsulas	2 Islands 8' x 36' 3 trees / ea.	6
Terminal Island		5
Other Trees for Mitigation & open Space		15
Shrubs	1/3 LF along residential	142
Hedge	425 LF Continuous hedge @ R.O.W.	425 LF
Existing Canopy Area 4,340sf	10 Cat.1 + 12 Cat.2 = 4800 sf	650 LF
landscaped Open space	25%	11710
		14332
		31%

Species Diversity	Number of Species Provided
	7

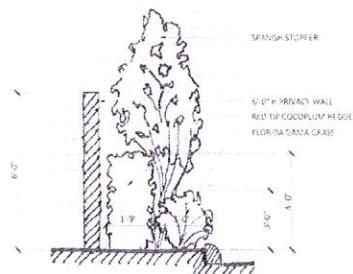
LANDSCAPE LEGEND

SYMBOL	TAG	NATIVE	YES/NO	COMMON NAME / LATIN NAME	QTY	BHD	HEIGHT	CANOPY DIAMETER	MATURE HEIGHT	SPACING	CATEGORY SIZE	
LO	YES			LIVE OAK <i>Quercus Virginiana</i>	17	2"	12'	12'	50'	50'	CATEGORY 1	
SB	YES			SILVER BUTTWOOD <i>Conocarpus erectus</i>	14	2"	10'	8'	20'	25'-0"	CATEGORY 2	
PP	YES			PIGEONPLUM <i>Coccoloba diversifolia</i>	12	2"	12'	8'	25'	20'	CATEGORY 2	
GL	YES			GUMBO LIMBO <i>Bursera simaruba</i>	8	2"	14'	12'	35'	20'	CATEGORY 1	
SS	YES			SPANISH STOPPER <i>Eugenia foetida</i>	21	2"	6'	8'	20'	25'	CATEGORY 2	
SHRUBS												
RT	YES	Area	12985	HEDGE - RED TIP COCOPLUM <i>Chrysobalanus icaco (2164 sf)</i>	361	7 gal	30"	2'	4'	3' O.C.		
FG	YES			FLORIDA GAMA GRASS <i>Tripsacum flaridana (10,203 sf)</i>	1701	3 gal	24	2'	36	2' O.C.		
WJ	YES	NO		WAX JASMINE <i>Tasminum volubile (618 sf)</i>	155	3 gal	24	2'	36	2' O.C.		
BC	YES			Cross Vine, Trumpet Flower <i>Bignonia capreolata L</i>	9	3 gal	24			2' O.C.	Climbing Accent Vine	
GROUND COVER												
	YES	Area	1347	SOD ON LANDSCAPE AREAS <i>Palmetto St. Augustine (1347 sf)</i>	1347							
LANDSCAPE AREA												
											TOTAL	14332

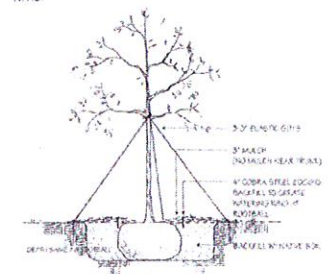
TREE PLANTING (2-4" CALIPER) N.T.S



SHRUB PLANTING



TYPICAL LAYERING DETAIL N.T.S



GENERAL PLANTING NOTES:

1. PROVIDE ROOT BARRIER FOR ANY TREES THAT ARE WITHIN 10' OF SIDEWALKS OR PARKINGS AND WITHIN LANDSCAPE ISLANDS.
2. PROVIDE AT LEAST 8' BETWEEN AND BUILDINGS.

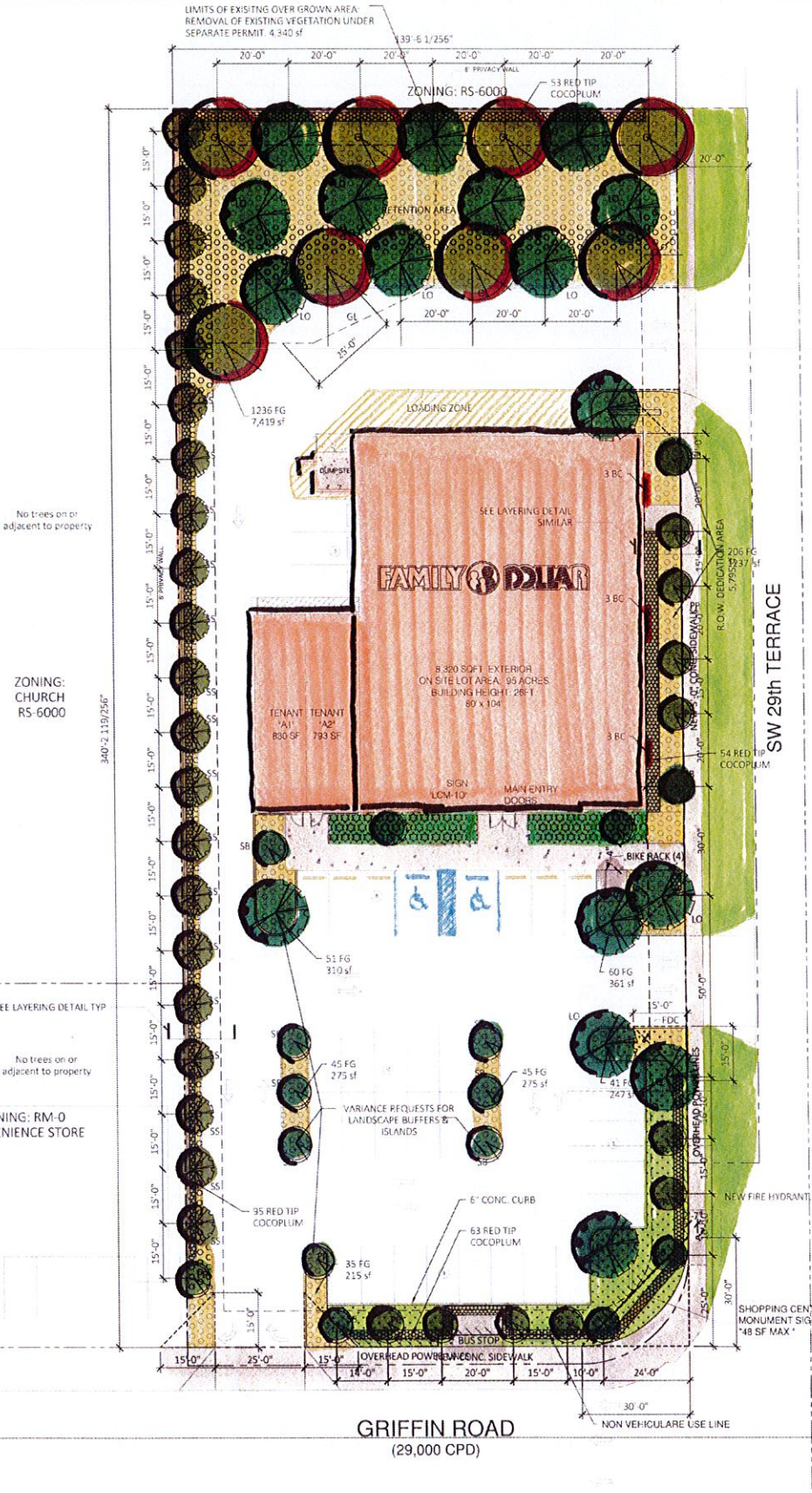
VISIBILITY TRIANGLE NOTE:

WITHIN THE SITE TRIANGLE, NO LANDSCAPING MAY BE INSTALLED OR MAINTAINED ABOVE A HEIGHT OF 30 INCHES. UPON THE DISCRETION OF THE COMMUNITY DEVELOPMENT DIRECTOR, TREE TRUNKS WHICH DO NOT IMPED VISIBILITY AND HAVE NO BRANCHES OR LEAVES BELOW EIGHT FEET IN HEIGHT MAY BE ALLOWED WITHIN THE SITE TRIANGLE.

CITY OF DANIA BEACH STANDARD LANDSCAPE PLAN NOTES

1. A PRE CONSTRUCTION MEETING WITH THE DANIA BEACH CITY ARBORIST IS REQUIRED PRIOR TO LANDSCAPING ACTIVITIES INCLUDING REMOVAL OF TREES AND/OR INSTALLATION OF PLANT MATERIAL. CALL 954-924-6423 A MINIMUM OF 5 DAYS PRIOR TO OCCASD START DATE TO SCHEDULE PRE CONSTRUCTION MEETING.
2. ALL EXISTING TREES PROPOSED TO REMAIN ARE TO BE SEPARATED FROM THE LIMITS OF DISTURBANCE OF THE CONSTRUCTION AREA BY TREE PROTECTION FENCING AND SIGNAGE. THE TREE PROTECTION FENCING SHALL BE LOCATED AT THE EDGE OF THE TREE PROTECTION ZONE AS DEPICTED ON THE PLAN OR AT THE EDGE OF THE DRIP LINES IF A TREE PROTECTION ZONE IS NOT DESIGNATED. NO MATERIALS STORAGE OR CONSTRUCTION ACCESS IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
3. ALL EXISTING TREES SHALL BE PRUNED TO ANSI A-800 STANDARDS TO CORRECT POTENTIAL HAZARDS.
4. ALL TREE REMOVAL, PERMIT IS REQUIRED PRIOR TO REMOVAL OR RELOCATION OF ANY TREE OR P.A.M. CONTACT THE DANIA BEACH CITY ARBORIST AT 954-924-6805 TO OBTAIN PERMIT AND/OR NOTIFICATION.
5. LANDSCAPE CONTRACTOR SHALL NOTIFY SUNSHINE ONE CALL OF FLORIDA, INC. AT 1-800-412-4770 A MINIMUM OF 2 FULL BUSINESS DAYS PRIOR TO DIGGING. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO UTILITIES FROM PLANT INSTALLATION.
6. TREE RELOCATIONS:
 - a. EXISTING TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF 100 DAYS PRIOR TO RELOCATION.
 - b. MINIMUM ROOT BALL SIZES SHALL BE IN ACCORDANCE WITH ANSI STANDARDS AS FOLLOWS:

1" DBH	27" dia	5' dia	4' dia
2" DBH	36" dia	6' dia	5' dia
3" DBH	45" dia	8' dia	6' dia
4" DBH	54" dia	10' dia	8' dia
5" DBH	63" dia	12' dia	10' dia
6" DBH	72" dia	14' dia	12' dia
7" DBH	81" dia	16' dia	14' dia
8" DBH	90" dia	18' dia	16' dia
9" DBH	99" dia	20' dia	18' dia
10" DBH	108" dia	22' dia	20' dia
 - c. TEMPORARY SPRIGATION SYSTEM SHALL BE PROVIDED DURING AND FOR THE FIRST 60 DAYS AFTER ROOT PRUNING.
7. ALL PLANTING MUST FOLLOW PLANTING SPECIFICATIONS AND BEST PRACTICES ON THE PLAN.
8. SUBSTITUTIONS OF PLANT SPECIES OR SPECIFIC CAT EGOS MUST BE APPROVED IN WRITING BY THE DANIA BEACH CITY ARBORIST PRIOR TO USE.
9. ALL PLANT MATERIAL PLANTED PER THIS LANDSCAPE PLAN SHALL BE FLORIDA GRADE #1 OR BETTER, AS SPECIFIED IN THE CURRENT EDITION OF THE FLORIDA DEPARTMENT OF AGRICULTURE'S GRADING AND STANDARDS FOR NURSERY PLANTS. DAMAGED PLANT MATERIAL SHALL BE REJECTED AND REPLACED PRIOR TO INSTALLATION.
10. ALL EXISTING TREES FOR PLANT MATERIAL ARE TO BE CONSIDERED AS N.V.M.S.
11. WHERE QUANTITY AND/OR SPECIES DIFFER BETWEEN THE PLANTING PLANS AND PLANT MATERIALS, THE PLANS SHALL TAKE PRECEDENCE.
12. ALL NEW PLANT MATERIAL SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR. THE WARRANTY PERIOD SHALL BEGIN AFTER ACCEPTANCE OF THE PLANTS BY THE CITY ARBORIST.
13. ALL PLANT AREAS TO BE TREATED WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING.
14. ALL TREE AND PALM STAKING AND SUPPORT SHALL BE REMOVED ONE YEAR AFTER INSTALLATION.
15. NO FERTILIZER SHALL BE APPLIED TO NEWLY PLANTED TREES AND PALMS.
16. ALL LANDSCAPE MATERIAL SHALL BE THOROUGHLY WATERED AT THE TIME OF PLANTING. NO DRY PLANTING PERMITTED.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY WATER PROVISIONS UNTIL SUCH TIME AS THE IRRIGATION SYSTEM IS OPERATIONAL.
18. ALL WIRE GUYS AND/OR FABRIC STRAPS SHALL BE FLAGGED WITH FLUORESCENT COLORED TAPES.
19. MULCHING:
 - a. ALL LANDSCAPE AREAS NOT COVERED BY SOD SHALL BE COVERED BY A MINIMUM 8 INCH LAYER OF MULCH.
 - b. A MULCH RING WITH A MINIMUM RADIUS OF 24 INCHES (8 INCH DIAMETER), IS REQUIRED AROUND ALL NEWLY INSTALLED TREES AND PALMS.
 - c. COPRESS MULCH SHALL NOT BE USED.
20. ALL NEW LANDSCAPED AREAS SHALL BE EXCAVATED DOWN TO A DEPTH OF 24 INCHES BELOW FINISHED GRADE AND BACK FILLED WITH CLEAN DEBRIS FREE SOIL. CONSTRUCTION ACCESS SHALL BE RESTRICTED FROM THE LANDSCAPED AREA AFTER EXCAVATION AND BACKFILL IS COMPLETE.
21. ALL LANDSCAPE AREAS SHALL BE FINISHED GRADED SUCH THAT THEY ARE A MINIMUM OF 3 INCHES BELOW SURROUNDING PAVED SURFACES SO AS NOT TO IMPED THE FLOW OF DRAINAGE INTO LANDSCAPED AREAS AND TO ALLOW FOR A 3 INCH MULCH LAYER.



1 LA1 LANDSCAPE SITE PLAN SCALE: 1" = 20'-0"



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 PROPOSED SITE
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 DANIA BEACH, FLORIDA

REVISION	NO.
12-16-14	REVISED PER DRC COMMENTS
02-26-15	REVISED

DATE: 6/25/2014
 SCALE: AS NOTED
 DRAWN: AGF
 CHECKED: AGF
 JOB NO: 13-1202
 PERMIT NO:

OWNERSHIP
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